

P:\2026.002 Sage Tiny Homes & RV\006_CAD\04_Rev\02_Consultants\01_Master Plan\2026-04-30 Title Block\Consultant Title Block.rvt

GENERAL NOTES FOR GRADING CONSTRUCTION

- A. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR PAYING PERMIT FEES PRIOR TO CONSTRUCTION.
- B. A SEPARATE PERMIT IS NECESSARY FOR ANY CONSTRUCTION IN THE RIGHT-OF-WAY.
- C. PRIOR TO THE START OF ANY ON-SITE GRADING OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING DIVISION AT LEAST TWO BUSINESS DAYS PRIOR TO COMMENCING WORK.
- D. STAKING PAD AND/OR FINISHED FLOOR ELEVATIONS ARE THE RESPONSIBILITY OF THE DEVELOPER OR HIS ENGINEER. IN NON-CRITICAL AREAS, THE DEVELOPER'S ENGINEER SHALL SUBMIT CERTIFICATIONS OF CONSTRUCTED BUILDING PAD ELEVATIONS PRIOR TO THE CITY'S ACCEPTANCE OF PROJECT. IN A CRITICAL DRAINAGE AREA, CERTIFICATION OF THE FINISHED BUILDING FLOOR OR STEM WALL ELEVATION SHALL BE SUBMITTED AND APPROVED PRIOR TO ANY VERTICAL CONSTRUCTION.
- E. AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- F. ACCEPTANCE OF GRADING AND DRAINAGE IMPROVEMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, THE CONSTRUCTION OF RETENTION BASINS, CATCH BASINS, CURB FOR OTHER DRAINAGE FACILITIES, SITE GRADING, DRYWELLS, STORM DRAIN PIPES, UNDERGROUND STORAGE TANKS AND ASPHALT PAVEMENT.
- G. DRYWELLS MUST BE DRILLED A MINIMUM OF 10 FEET INTO PERMEABLE POROUS STRATA.
- H. THE CONTRACTOR SHALL CONSTRUCT ALL RETENTION BASINS TO THE ELEVATIONS AND SLOPES SHOWN ON THE PLANS
- I. THIS SET OF PLANS HAS BEEN REVIEWED FOR COMPLIANCE WITH CITY REQUIREMENTS PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS AND SHALL BE KEPT AT THE CONSTRUCTION SITE. SUCH REVIEW SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTIONS TO ERRORS ON THE PLANS, WHICH ARE FOUND TO BE IN VIOLATION OF ANY LAW OR ORDINANCE.
- J. NO PERSON SHALL USE ANY MECHANICAL EQUIPMENT FOR CLEARING, GRUBBING, ROAD CONSTRUCTION, TRENCHING, EXCAVATING, DEMOLITION OR ENGAGE IN ANY EARTHMOVING ACTIVITY WITHOUT FIRST OBTAINING A DUST CONTROL PERMIT FROM PINAL COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES.

RETENTION

THE PROJECT HAS BEEN DESIGNED AND GRADED TO ACCOMMODATE THE 100-YEAR, 2-HOUR DESIGN STORM EVENT. ALL RETENTION BASINS ARE DESIGNED WITH MAXIMUM 4:1 SIDE SLOPES AND A PONDING DEPTH NOT TO EXCEED 3 FOOT. THE PROJECT SITE IS CURRENTLY UNDEVELOPED VACANT PARCEL BOUND BY THE SAGE MEMORIAL HOSPITAL, WITH RESIDENTIAL HOMES TO THE EAST, AND THE PUEBLO COLORADO RIVER TO THE NORTH AND WEST. THE SITE HAS AN EXISTING SLOPE OF APPROXIMATELY 2.5% FROM THE EAST TO THE WEST. ULTIMATE OUTFALL FOR THE PROJECT IS LOCATED AT THE NORTH SIDE OF PROPOSED RETENTION BASIN RB-1, ELEVATION 6358.00.

RETENTION CALCULATIONS

RETENTION REQUIRED

V=PCA, WHERE;

P = PRECIPITATION FREQUENCY FOR THE 100-YEAR, 2-HOUR STORM EVENT

= 2.16 IN = 0.18 FT

C = C-VALUE

= 0.70

A = AREA OF DISTURBANCE

= 104,861 SF

V = (0.18 FT)(0.70)(104,861 SF)

V = 13,212 CF

RETENTION BASIN TABLE

RETENTION BASIN TABLE						
BASIN ID	REQ. VOLUME (CF)	PROV. VOLUME (CF)	BOTTOM ELEV	TOP ELEV	HIGH WATER ELEV	SIDE SLOPES
RB-1	13,212	15,765	6355.00	6358.00	6357.84	3.00 6:1
RB-2		207	6358.70	6359.70	6359.70	1.00 6:1
RB-3		451	6359.30	6360.30	6360.30	1.00 6:1

SITE INFORMATION

ADDRESS
191 AZ-264
GANADO, AZ 86505

PARCEL NO. 2 ACREAGE
7.77 ACRES

PARCEL NO. 1 ACREAGE
20.43 ACRES

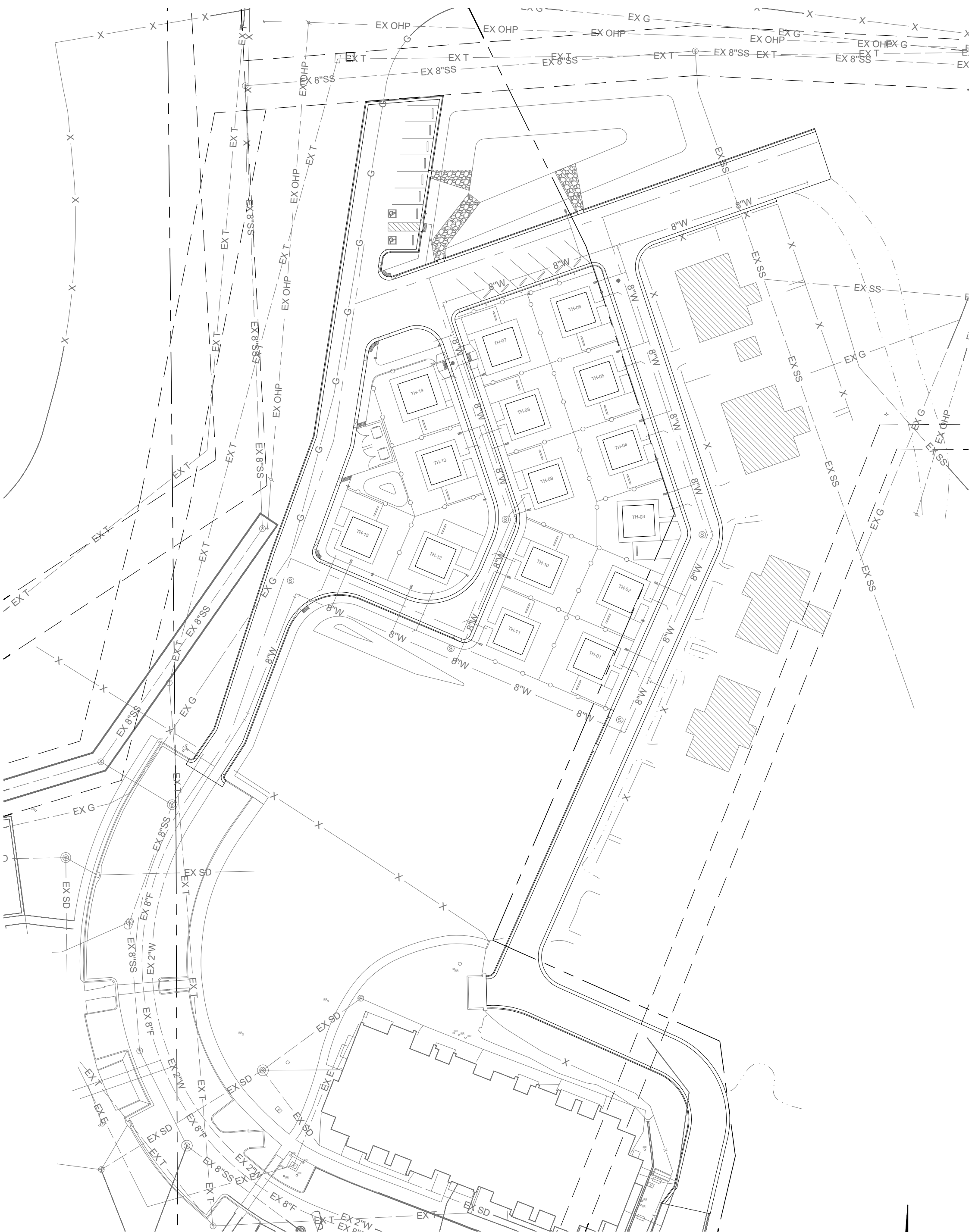
PARCEL NO. 3 ACREAGE
3.12 ACRES

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

COMMUNITY NUMBER	PANEL# PANEL DATE	DATE OF FIRM (INDEX OF DATE)	FIRM ZONE	BASE FLOOD ELEVATION (IN AO ZONE, USE DEPTH)
04FED	04001C2375E September 28, 2007	09-28-07	ZONE D	N/A

SAGE TINY HOMES AND RV PARK - PHASE 1 SITE IMPROVEMENT PLANS

LOTS 17, 22, AND 30 AND A PORTION OF LOTS 18, 20, 21, 31 AND A PORTION OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTIONS 27,
TOWNSHIP 27 NORTH, RANGE 26 EAST, GILA AND SALT RIVER MERIDIAN,
APACHE COUNTY, ARIZONA



RECORD DRAWING CERTIFICATION

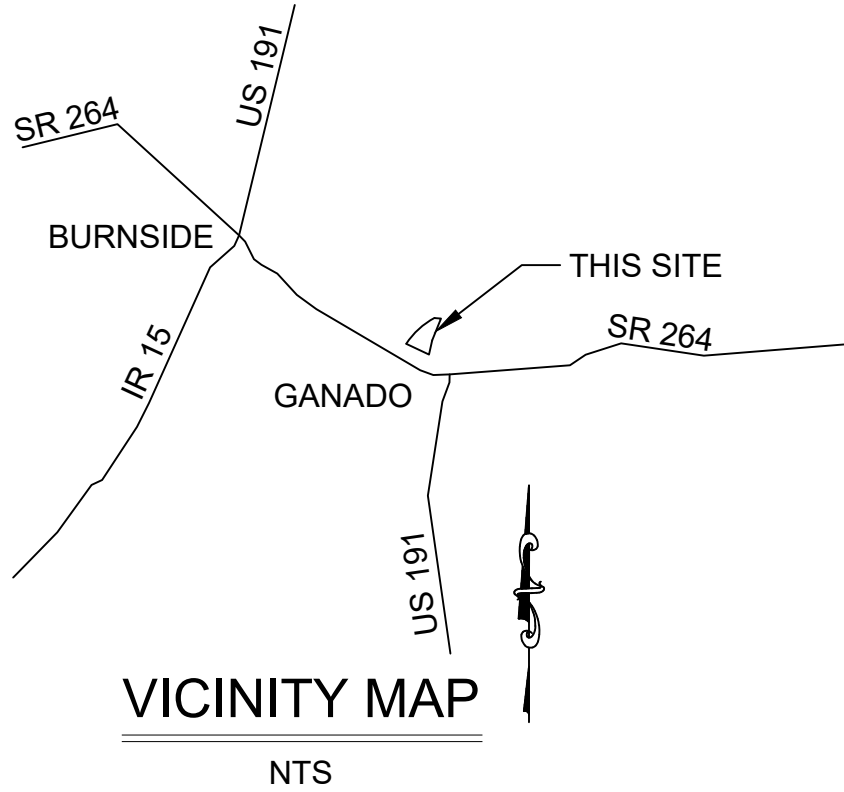
I HEREBY CERTIFY THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REGISTERED ENGINEER/LAND SURVEYOR _____ DATE _____

REGISTRATION NUMBER _____

KEY MAP

SCALE: 1" = 50'



ENGINEER

JUSTIN PETERSON, PE
LLOYD SPORTS + ENGINEERING
960 WEST ELLIOT ROAD
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TEMPE, AZ 85258
(480) 332-0855
EMAIL: jpeterson@lloydengineers.com

LEAD CONSULTANT

KIM KANUHO
FOURTH WORLD DESIGN GROUP
3707 EAST SOUTHERN AVENUE
SUITE 1047
MESA, AZ 85206
(480) 454.4713
EMAIL: kkanuho@fourthworldgdg.com

OWNER

JAROM PROWS, MHA
NAVAJO HEALTH FOUNDATION-SAGE
MEMORIAL HOSPITAL, INC.
191 AZ-264
GANADO, AZ 86505
(928) 755-4500
EMAIL: jarom.prows@sagememorial.com

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EARTHWORK CALCULATIONS

	CUT	FILL
1" CLEAR AND GRUB		330 CY
RAW CUT	1,730 CY	
RAW FILL		1,405 CY
TOTAL IMPORT		5 CY

PRIMARY BENCHMARK

THE VERTICAL BASIS FOR THIS SURVEY PROVIDED BY DEPAULI ENGINEERING AND SURVEY. FIELD SURVEY PERFORMED: NOVEMBER 21, 2025; DECEMBER 3, 18, 19, 2025; & JANUARY 6, 2026.

THE CONTROL POINTS ARE SHOWN HEREON AS "CP" WITH BOTH HORIZONTAL COORDINATES (iFT) And elevations (iFT). HORIZONTAL COORDINATES ARE REFERENCED TO NGS DATA SHEET - GANADO RESET "PID FP0604"; NAD83 (1992), ARIZONA STATE PLANE EAST ZONE (MODIFIED TO GROUND). ELEVATIONS ARE REFERENCED TO NGS DATA SHEET 36HLS "PID FP0628"; NAVD88 AND GEOID18. CONTOURS ARE SHOWN AT 1' INTERVALS.

CP#1	CP#2
N: 1716188.44	N: 1716572.53
E: 884252.93	E: 885645.70
ELEV: 6362.52	ELEV: 6369.00
1/2" REBAR	3" BLM BRASS CAP, DATE 1999, AP3

BASIS OF BEARING

THE HORIZONTAL BASIS FOR THIS SURVEY PROVIDED BY DEPAULI ENGINEERING AND SURVEY. FIELD SURVEY PERFORMED: NOVEMBER 21, 2025; DECEMBER 3, 18, 19, 2025; & JANUARY 6, 2026.

BEARING REFERENCED TO THE NAD 83 ARIZONA STATE PLANE COORDINATE SYSTEM - EAST ZONE GRID, OBTAINED WITH GPS OBSERVATIONS. DISTANCES AND HORIZONTAL COORDINATES ARE GROUND. THE COMBINED FACTOR IS 0.99963773 AND DELTA ALPHA=0°21'42", PER "OPUS" REPORT.

PROJECT AREA

THE GROSS AREA OF THE SUBJECT PARCELS IS 1,364,371 SF OR APPROXIMATELY 31.32 ACRES. AREA OF DISTURBANCE: 2.45 ACRES.

PROJECT DESCRIPTION

ONSITE IMPROVEMENTS CONSISTING OF GRADING, DRAINAGE, AND WET UTILITIES FOR EACH OF 15 LOTS. THIS WILL INCLUDE DEMOLITION/REMOVALS, STORMWATER MANAGEMENT, AND WET UTILITY (WATER AND SEWER) RELOCATION/EXTENSIONS.

SAGE TINY HOMES - 15 UNITS

Ganado, AZ

100% CONSTRUCTION DOCUMENTS

OWNER:
Sage Memorial Hospital



3707 E. Southern Ave.,
Suite 1047,
Mesa, AZ 85206
Tel 480.454.4713



960 W. ELLIOT ROAD
SUITE 213
TEMPE, AZ 85284
PH 602.635.4226



ENGINEER

MARK	DATE	DESCRIPTION
	Date	

PROJECT NUMBER: 2024.013
DRAWING FILE:
DRAWN BY: GB
CHECKED BY: JP
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SHEET TITLE

COVER SHEET

SHEET NUMBER

C1-01

Sequence 1 of 23

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GENERAL ENGINEERING NOTES

1. NAVAJO TRIBAL UTILITY AUTHORITY (NTUA) REQUIREMENTS AND TECHNICAL SPECIFICATIONS ARE CONSIDERED TO BE BEST PRACTICE FOR ALL UTILITY WORK AND MUST BE FOLLOWED AS CALLED OUT IN THESE PLANS. FOR ALL NON-UTILITY WORK, MAG STANDARD DETAILS AND SPECIFICATIONS ARE CONSIDERED TO BE BEST PRACTICE AND MUST BE FOLLOWED AS CALLED OUT IN THESE PLANS. IF CONTRACTOR HAS ANY QUESTIONS OR CONCERNS, NOTIFY ENGINEER FOR CLARIFICATION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL STRUCTURES, UNDERGROUND PIPELINES, ELECTRICAL AND TELEPHONE CONDUITS, EITHER SHOWN OR NOT SHOWN ON THE PLANS PRIOR TO ANY CONSTRUCTION, AND TO OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO THESE FACILITIES. THE ENGINEER WILL NOT GUARANTEE ANY ELEVATIONS OR LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO UNCOVER ALL EXISTING WATER AND SEWER LINES BEING CONNECTED TO, AND TO VERIFY THE LOCATIONS, DEPTH, FLOWLINE ELEVATIONS, AND SIZE OF PIPE, BEFORE ANY CONSTRUCTION BEGINS.
4. COMPACTION, BEDDING, AND BACKFILL SHALL BE PER M.A.G. UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
5. ALL WORK AND MATERIALS WHICH DO NOT CONFORM TO THE SPECIFICATIONS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTORS EXPENSE.
6. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT TO CONSTRUCT/INSTALL THE IMPROVEMENT SHOWN ON THESE PLANS UNLESS SPECIFICALLY NOTED OTHERWISE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "AS-BUILT" DRAWINGS TO THE OWNER.
8. DIMENSIONS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY.
9. ALL VALVE BOXES, METER BOXES, MANHOLE RIMS, SEWER CLEANOUT RIMS, ETC., SHALL BE ADJUSTED TO FINAL FINISHED GRADE PER NTUA STANDARD DETAILS. IF THERE ARE NO NTUA STANDARDS THEN FOLLOW M.A.G. STANDARD DETAIL 270, M.A.G. STANDARD DETAIL 391-1, AND M.A.G. STANDARD DETAIL 422-1 PRIOR TO ACCEPTANCE OF THE WORK BY OWNER.
10. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY USED DURING CONSTRUCTION UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS.
11. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THESE PLANS.
12. THE CONTRACTOR SHALL CALL FOR AZ811 TWO DAYS PRIOR TO ANY EXCAVATION.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL CONSTRUCTION PER PLANS. ANY ADDITIONS, DELETIONS OR CHANGES SHALL FIRST MEET WITH THE APPROVAL OF THE OWNER.
15. EACH BIDDER/CONTRACTOR SHALL INDEPENDENTLY DETERMINE QUANTITIES FOR THEIR OWN PURPOSE.
16. THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES UPON THEMSELVES THE INTERPRETATION OF THE DRAWINGS OR MAKES REVISIONS WITHOUT CONFERRING WITH THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES.
17. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL THOROUGHLY REVIEW THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
18. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS OR PROGRAMS USED IN CONNECTION WITH THE WORK, AND WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
19. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, LIGHTS, ETC.
20. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF TIE-IN AND MATCHING, PRIOR TO COMMENCEMENT OF CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CONFLICT WITH ADA, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
21. ALL EXISTING UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ON THE SITE. ANY DAMAGE TO EXISTING UTILITIES, WHETHER OR NOT SHOWN IN THE DRAWING, SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
22. THE OWNER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION, OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
23. ANY INSPECTION BY ANY JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CODES AND AGENCY REQUIREMENTS.
24. ANY CONSTRUCTION WATER ACCESS IS TO BE OBTAINED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. FIRE HYDRANT ACCESS MUST BE PERMITTED AND METERED BY THE LOCAL WATER DISTRICT AT NO ADDITIONAL COST TO THE OWNER.
25. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL STORM DRAIN PIPES AND DRAINAGE FACILITIES FROM DAMAGE DURING ALL STAGES OF CONSTRUCTION.
26. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO MOBILIZATION IN ORDER TO DETERMINE THE EXTENT AND CONDITIONS OF SITE DEMOLITION AND TO FIELD VERIFY SITE CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO BID.
2. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION AND REMOVAL SITE PREPARATIONS NECESSARY FOR THE EXECUTION OF THE WORK CONTAINED IN THE CONTRACT DOCUMENTS.
3. EXISTING STORM DRAIN FACILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED FROM CONSTRUCTION DEBRIS INTRUSION. THE CONTRACTOR SHALL FLUSH AND CLEAN EXISTING DRAINAGE SYSTEMS THAT ARE TO BE PROTECTED IN PLACE, WITHIN THE PROJECT LIMITS, TO THE POINT OF DISCHARGE. ALL CLEANING OF SITE AND DRAINAGE SYSTEMS SHALL MEET ALL STATE SAFETY AND WATER QUALITY REQUIREMENTS SET BY THE STATE.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES, STRUCTURES, AND SERVICES BEFORE COMMENCING WORK. CONTRACTOR IS RESPONSIBLE FOR POT-HOLING AND UTILITY SURVEYS AS NECESSARY TO LOCATE EXISTING UTILITIES.
5. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BMP'S AND PROTECTIONS TO DRAINS AND DRAINAGE SYSTEMS AS REQUIRED BY THE PROJECT SWPPP DOCUMENTS PRIOR TO COMMENCING DEMOLITION.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY EXISTING ITEM DAMAGED OR DESTROYED BY CONSTRUCTION NOT IDENTIFIED FOR DEMOLITION OR REMOVAL. REPLACEMENT OR REPAIRS SHALL BE AT THE CONTRACTOR'S EXPENSE AND ITEM RESTORED TO EQUAL OR BETTER CONDITION.
7. THE CONTRACTOR SHALL PROVIDE NECESSARY MEASURES TO CONTROL DUST AND SEDIMENT.
8. THE CONTRACTOR MUST PROTECT IN PLACE ALL EXISTING UTILITIES.
9. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OR REPLACEMENT OF UTILITIES DAMAGED DURING CONSTRUCTION.
10. CONTRACTOR SHALL NOTIFY AZ811 PRIOR TO ANY DEMOLITION OR EXCAVATION.
11. THE CONTRACTOR IS TO VERIFY THAT ALL EXISTING IMPROVEMENTS ARE SHOWN.
12. THE EXISTING TOPOGRAPHIC INFORMATION AND UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM THE BEST AVAILABLE DATA INCLUDING GROUND SURVEYS AND AS-BUILT PLANS. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT DEPTH, SIZE, AND LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK.
14. PROTECT ALL EXISTING UNDERGROUND STORM DRAINS, WATER LINES, ELECTRICAL LINES, AND OTHER UTILITIES THAT ARE NOT SPECIFICALLY CALLED OUT FOR REMOVAL.

GENERAL GRADING NOTES:

1. CONTRACTOR MUST PROVIDE SMOOTH AND FLUSH SURFACE AT ALL TRANSITIONS. NO DIPS, LIPS OR GAPS ARE ACCEPTED.
2. SUBGRADE MUST BE PREPARED AND COMPACTED IN ACCORDANCE WITH ALL RECOMMENDATIONS AND REQUIREMENTS PER GEOTECHNICAL REPORT.
3. ALL ACCESSIBLE PATHWAYS MUST BE INSTALLED IN ACCORDANCE WITH ADA REQUIREMENTS.
4. NO FILL TO BE PLACED UNTIL INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
5. TEMPORARY EROSION CONTROL TO BE INSTALLED DURING CONSTRUCTION.

GENERAL UTILITY NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING THE CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION OF ALL THE EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. ALL SEWER MUST COMPLY WITH NTUA CONSTRUCTION REQUIREMENTS AND TECHNICAL SPECIFICATIONS FOR MATERIALS AND WORKMANSHIP FOR WATER AND WASTEWATER FACILITIES.
3. AN ACCESS INTERRUPTION NOTICE SHALL BE SECURED WHEN INTERRUPTING THE SITE OPERATION FOR UTILITY INSTALLATION.
4. CONTRACTOR TO VERIFY LOCATION AND INVERT OF EXISTING SEWER PRIOR TO ANY TRENCHING. SHOULD ANY DISCREPANCIES BE FOUND, CONTACT ENGINEER IMMEDIATELY.
5. ALL MANHOLES, CLEANOUTS, CATCH BASINS, VALVES AND METER BOXES SHALL BE ADJUSTED TO FINISH SURFACE ELEVATIONS.
6. FOR ALL PIPE, PROVIDE UNDERGROUND LOCATING DEVICE, SUCH AS A TRACER WIRE.
7. ALL SEWER LINES, MAINS, AND MANHOLES TO BE VACUUM TESTED AND ALL SEWER LINES TO BE AIR TESTED.
8. PROVIDE COMPLETE AS-BUILTS AFTER INSTALLATION SHOWING PIPE SIZE, INSTALLATION, INVERTS, MANHOLES, AND TIE-IN TO PUBLIC SEWER SYSTEM. SUBMIT ALL REQUIRED DOCUMENTATION UNDER SEAL AND SIGNATURE OF THE PROFESSIONAL REGISTRANT.

ON-SITE WATER KEYNOTES

- | | | |
|----|--|----------|
| 1 | CONTRACTOR TO POTHOLE AND VERIFY LOCATION, SIZE AND INVERT OF EXISTING WATER LINE OR STUB PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. | N/A |
| 2 | REMOVE EXISTING PLUG AND EXTEND WATERLINE WITH NEW 8" GATE VALVE PER NTUA STD. DTL. WS-14. SEE DETAIL ON SHEET C6-02. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF EXISTING STUB. SHOULD CONDITIONS VARY FROM PLANS, STOP WORK IMMEDIATELY AND NOTIFY ENGINEERS. | 1 EA |
| 3 | INSTALL 8" PVC C-900 (SDR 21 CLASS 200 AND 48" MINIMUM COVER) WATERLINE WITH 12 AWG TRACER WIRE. LENGTH AS INDICATED ON PLANS. INSTALL JOINT RESTRAINTS PER MANUFACTURERS REQUIREMENTS. TRENCH EXCAVATION BACKFILL AND COMPACTION PER NTUA STD. DTL. WS-15. SEE DETAIL ON SHEET C6-02. | 1,110 LF |
| 4 | INSTALL PVC BEND (SIZE AND DEGREE PER PLAN), WITH CONCRETE THRUST BLOCKS PER NTUA STD. DTL. WS-19. SEE DETAIL ON SHEET C6-02. | 6 EA |
| 5 | INSTALL PVC TEE (SIZE PER PLAN), WITH CONCRETE THRUST BLOCKS PER NTUA STD. DTL. WS-19. SEE DETAIL ON SHEET C6-02. | 2 EA |
| 6 | INSTALL GATE VALVE PER NTUA STD. DTL. WS-14. SEE DETAIL ON SHEET C6-02. | 5 EA |
| 7 | INSTALL FIRE HYDRANT ASSEMBLY PER NTUA STD. DTL. WS-12. SEE DETAIL ON SHEET C6-02. | 2 EA |
| 8 | INSTALL 1" WATER SERVICE METER BOX AND COVER PER NTUA STD. DTL. WS-1. SEE DETAIL ON SHEET C6-02. | 16 EA |
| 9 | MAINTAIN CLEARANCE AT WATER AND SEWER CROSSINGS PER NTUA STD. DTL. WS-20. SEE DETAIL ON SHEET C6-02. | 1 EA |
| 10 | PVC WATERLINE CAP, SIZE PER PLAN WITH CONCRETE THRUST BLOCK PER NTUA STD. DTL. WS-19. SEE DETAIL ON SHEET C6-02. | 1 EA |

QUANTITY

SEWER KEYNOTES

- | | | |
|---|--|--------|
| 1 | CONTRACTOR TO POTHOLE AND VERIFY LOCATION, SIZE AND INVERT OF EXISTING SEWER LINE OR STUB PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. | N/A |
| 2 | INSTALL 8" PVC (SDR-35) SEWER PIPE PER TRENCH AND BACKFILL DETAIL PER NTUA STD. DTL. WWS-10. LENGTH AND SLOPE PER PLAN. SEE DETAIL ON SHEET C6-02. | 802 LF |
| 3 | INSTALL 4" DIAMETER PRECAST MANHOLE PER PER NTUA STD. DTL. WWS-4 WITH MANHOLE STEPS PER NTUA STD. DTL. WWS-6, AND MANHOLE RING AND COVER PER NTUA STD. DTL. WWS-5. SEE DETAILS ON SHEET C6-02. | 5 EA |
| 4 | INSTALL 8" CLEANOUT PER NTUA STD. DTL. WWS-11. SEE DETAIL ON SHEET C6-02. | 2 EA |
| 5 | INSTALL 4" SEWER SERVICE PER NTUA STD. DTL. WWS-1. SEE DETAIL ON SHEET C6-02. SEWER CONTINUATION PER BUILDING PLUMBING PLANS. | 15 EA |
| 6 | MAINTAIN CLEARANCE AT SEWER AND WATER CROSSING PER NTUA STD. DTL. WWS-8. SEE DETAIL ON SHEET C6-02. | 1 EA |
| 7 | REMOVE EXISTING SEWER PLUG AND EXTEND SEWER MAIN WITH A MAXIMUM 4" DEFLECTION TO THE NEXT UPSTREAM MANHOLE. | 1 EA |

QUANTITY

UTILITY CROSSING KEYNOTES

- | | | |
|---|---|------|
| 1 | MAINTAIN CLEARANCE AT SEWER AND WATER CROSSING PER NTUA STD. DTL. WWS-8. SEE DETAIL ON SHEET C6-02. | 1 EA |
| 2 | APPROXIMATE LOCATION OF RELOCATED GAS LINE, BY OTHERS. SEE PLANS BY ARCHITECT AND NTUA. | N/A |

QUANTITY

PAVING KEYNOTES

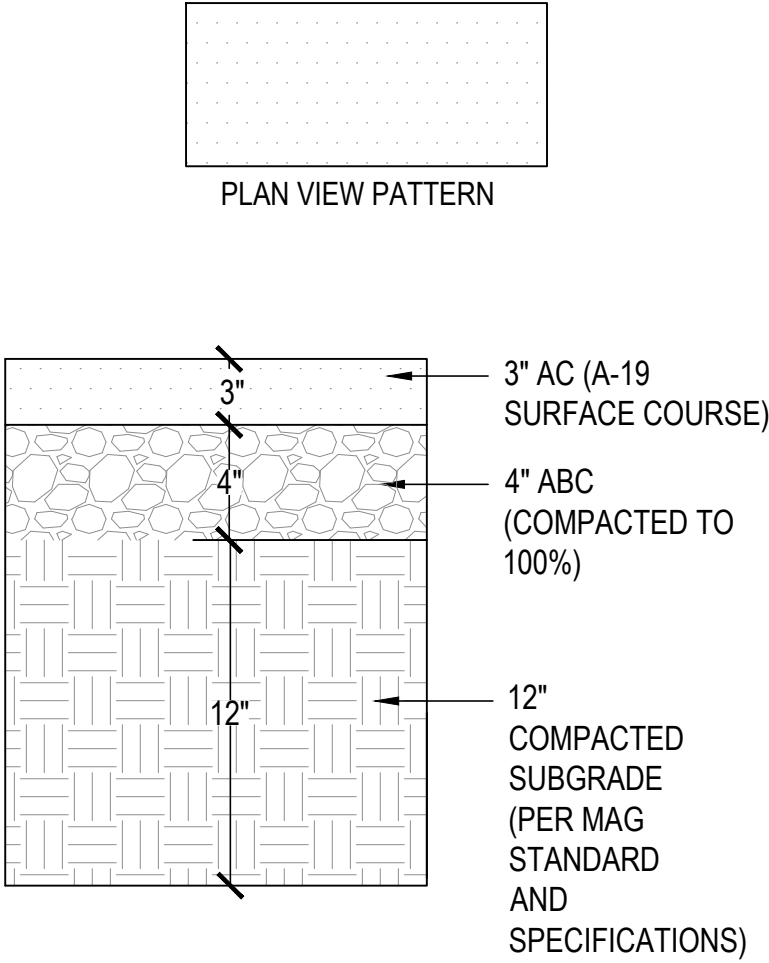
- | | | |
|----|--|-----------|
| 1 | CONTRACTOR TO VERIFY ELEVATION OF EXISTING CURB OR SIDEWALK TIE-IN LOCATION AND MATCH EXISTING. NOTIFY ENGINEER OF ANY DISCREPANCIES. | N/A |
| 2 | INSTALL 6" BOLLARD TYPE 1 PERMANENT PER MAG STD. DTL. 140. | 6 EA |
| 3 | CONSTRUCT 3" AC ON 4" ABC PER MAG SPECIFICATIONS AND GEOTECHNICAL REPORT REQUIREMENTS. | 35,662 SF |
| 4 | INSTALL 4" CONCRETE SIDEWALK PER MAG STD. DTL. 230 OVER 4" ABC, WIDTH PER PLAN. JOINT SPACING SHALL BE 3' ON CENTER, MAINTAIN 3' CLEARANCE AROUND TINY HOME. | 13,177 SF |
| 5 | INSTALL RIBBON CURB PER MAG STD. DTL. 220-1, TYPE "B". | 86 LF |
| 6 | INSTALL 4" ROLL CURB & GUTTER PER MAG STD. DTL. 220-1, TYPE "C". | 934 LF |
| 7 | INSTALL 4" ROLL CURB & GUTTER PER MAG STD. DTL. 220-1, TYPE "D". | 655 LF |
| 8 | INSTALL 6" VERTICAL CURB AND GUTTER PER MAG STD. DTL. 220-1, TYPE "A". | 1,484 LF |
| 9 | INSTALL 5' CURB AND GUTTER TRANSITION PER MAG STD. DTL. 221. | 4 EA |
| 10 | INSTALL 5' ROLL CURB AND GUTTER TRANSITION TO RIBBON CURB PER DETAIL 5 ON SHEET C6-01. | 10 EA |
| 11 | CONSTRUCT CONCRETE CURB OPENING PER MAG STD. DTL. 226-2, TYPE "2", OPENING PER PLAN. | 17 LF |
| 12 | CONSTRUCT ASPHALT THICKENED EDGE PER MAG STD. DTL. 201, TYPE "A". | 139 LF |
| 13 | ADJUST WATER VALVE AND METER BOXES TO FINISH GRADE PER MAG STD. DTL. 391-1, TYPE "A". | N/A |
| 14 | ADJUST SEWER MANHOLES AND CLEANOUTS TO FINISH GRADE PER MAG STD. DTL. 422-1. | N/A |
| 15 | INSTALL FIRE HYDRANT MARKER PER MAG STD. DTL. 122. | 2 EA |
| 16 | INSTALL SIDEWALK RAMP AND ADA TRUNCATED DOMES PER DETAIL 6 ON SHEET C6-01. | 7 EA |
| 17 | CHAIN LINK FENCE BY OTHERS. | N/A |
| 18 | CONSTRUCT TRASH ENCLOSURE PER DETAIL 1 ON SHEET C6-01. | 1 EA |
| 19 | INSTALL GROUTED RIPRAP SPILLWAY PER DETAIL 2 ON SHEET C6-01. LENGTH AND WIDTH PER PLAN. | 843 SF |
| 20 | INSTALL CURB TERMINATION PER MAG STD. DTL. 222. | 6 EA |
| 21 | CONSTRUCT 7" THICK (MAG AA, 4,000 PSI) CONCRETE PAVEMENT OVER COMPACTED SUBGRADE. MAXIMUM JOINT SPACING OF 12 FEET IN EITHER DIRECTION. | 515 SF |

QUANTITY

SITE DEMOLITION KEYNOTES:

- | | | |
|----|---|-----------|
| 01 | CLEAR AND GRUB. REMOVE ADDITIONAL DEPTH AS NECESSARY TO CLEAR OTHER UNSUITABLE MATERIAL FOR COMPACTED SUBGRADE. | N/A |
| 02 | REMOVE AND DISPOSE OF EXISTING AGGREGATE ROADWAY. | 18,457 SF |
| 03 | REMOVE AND DISPOSE OF EXISTING LIGHT, CONDUIT, AND CONDUCTOR. | 2 EA |
| 04 | REMOVE AND DISPOSE OF EXISTING FENCE TO NEAREST POLE. | 39 LF |
| 05 | EXISTING GAS LINE TO BE ABANDONED IN PLACE. REFER TO PLANS BY ARCHITECT AND NTUA. | 358 LF |
| 06 | REMOVE AND DISPOSE OF EXISTING CONCRETE CURB. | 9 LF |
| 07 | REMOVE AND DISPOSE OF EXISTING AC PAVEMENT. | 147 SF |

QUANTITY



ASPHALT PAVEMENT SECTIONS

NTS

SAGE TINY HOMES - 15 UNITS

Ganado, AZ

100% CONSTRUCTION DOCUMENTS

07/10/2026

OWNER:
Sage Memorial Hospital



3707 E. Southern Ave.,
Suite 1047,
Mesa, AZ 85206
Tel 480.454.4713



960 W. ELLIOT ROAD
SUITE 213
TEMPE, AZ 85284
PH 602.635.4226



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	Date	

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SHEET TITLE

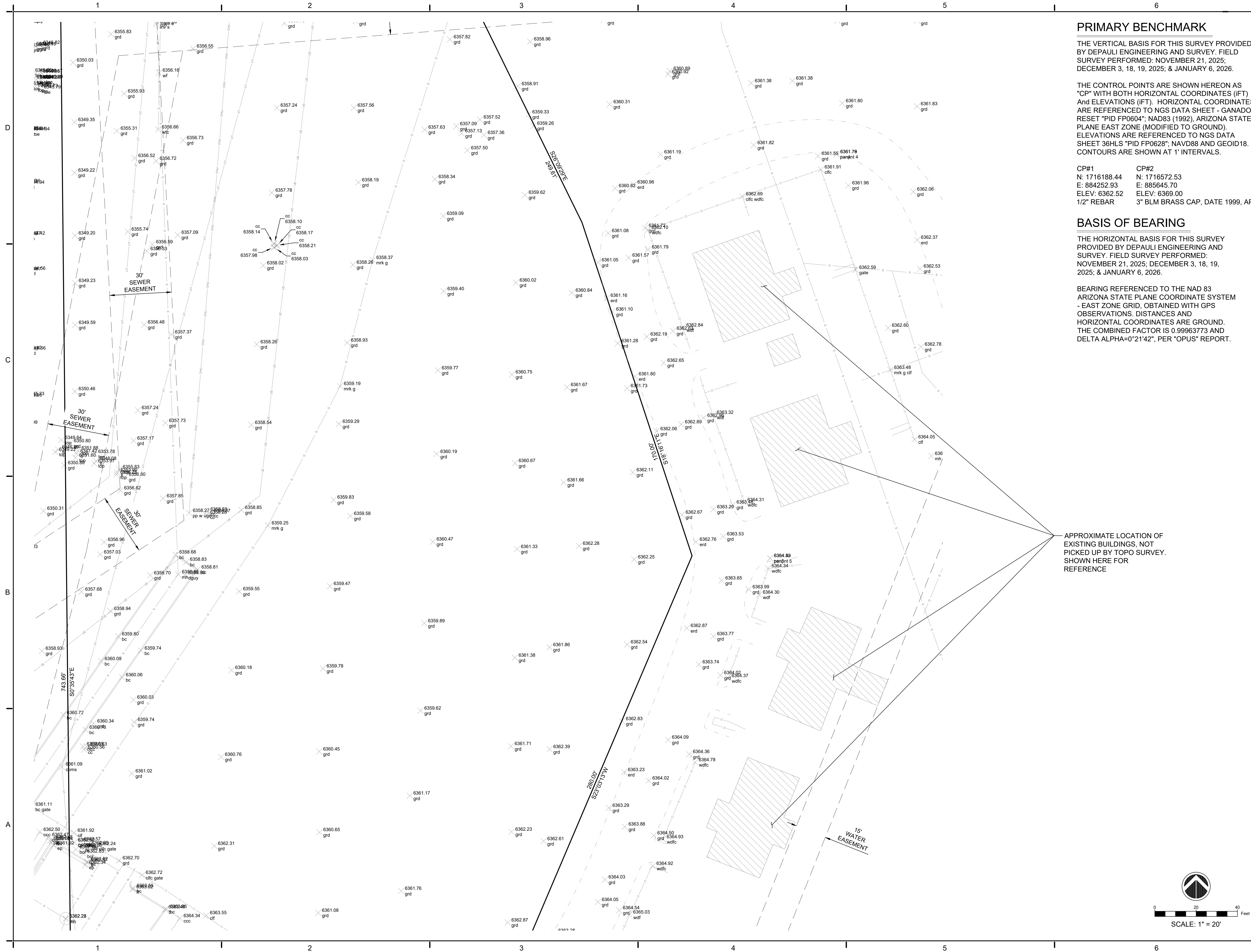
GENERAL
NOTES &
QUANTITIES

SHEET NUMBER

C1-02

Sequence 2 of 23

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PRIMARY BENCHMARK

THE VERTICAL BASIS FOR THIS SURVEY PROVIDED BY DEPAULI ENGINEERING AND SURVEY. FIELD SURVEY PERFORMED: NOVEMBER 21, 2025; DECEMBER 3, 18, 19, 2025; & JANUARY 6, 2026.

THE CONTROL POINTS ARE SHOWN HEREON AS "CP" WITH BOTH HORIZONTAL COORDINATES (IFT) And ELEVATIONS (IFT). HORIZONTAL COORDINATES ARE REFERENCED TO NGS DATA SHEET - GANADO RESET "PID FP0604"; NAD83 (1992), ARIZONA STATE PLANE EAST ZONE (MODIFIED TO GROUND). ELEVATIONS ARE REFERENCED TO NGS DATA SHEET 36HLS "PID FP0628"; NAVD88 AND GEOID18. CONTOURS ARE SHOWN AT 1' INTERVALS.

CP#1	CP#2
N: 1716188.44	N: 1716572.53
E: 884252.93	E: 885645.70
ELEV: 6362.52	ELEV: 6369.00
1/2" REBAR	3" BLM BRASS CAP, DATE 1999, AP3

BASIS OF BEARING

THE HORIZONTAL BASIS FOR THIS SURVEY PROVIDED BY DEPAULI ENGINEERING AND SURVEY. FIELD SURVEY PERFORMED: NOVEMBER 21, 2025; DECEMBER 3, 18, 19, 2025; & JANUARY 6, 2026.

BEARING REFERENCED TO THE NAD 83 ARIZONA STATE PLANE COORDINATE SYSTEM - EAST ZONE GRID, OBTAINED WITH GPS OBSERVATIONS. DISTANCES AND HORIZONTAL COORDINATES ARE GROUND. THE COMBINED FACTOR IS 0.99963773 AND DELTA ALPHA=0°21'42", PER "OPUS" REPORT.

APPROXIMATE LOCATION OF EXISTING BUILDINGS, NOT PICKED UP BY TOPO SURVEY. SHOWN HERE FOR REFERENCE

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Ganado, AZ
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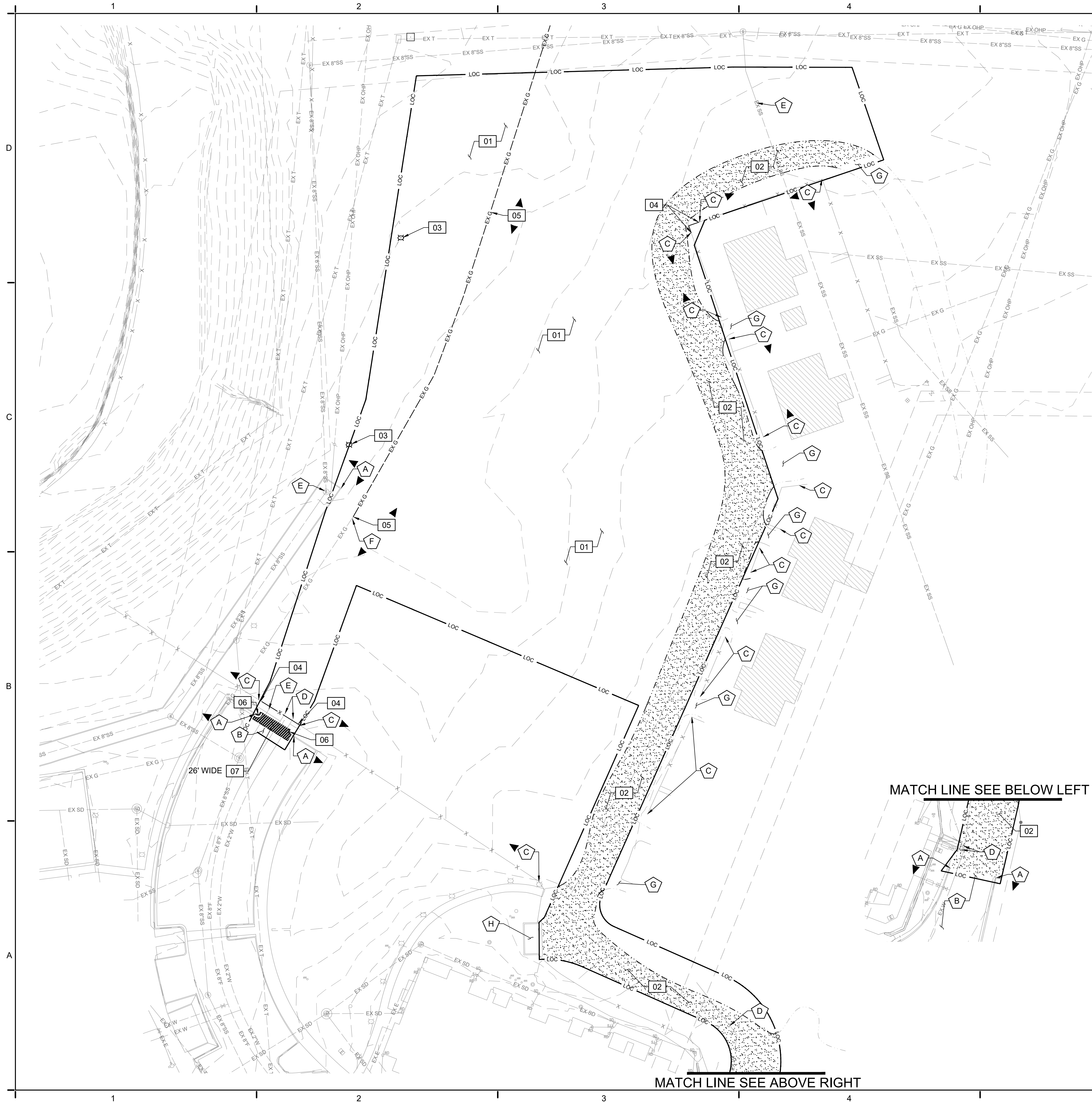
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**EXISTING
CONDITIONS
PLAN**

SHEET NUMBER
C2-01
Sequence 3 of 23



0 20 40 Feet
SCALE: 1" = 20'

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SITE DEMOLITION KEYNOTES:

- 01 CLEAR AND GRUB. REMOVE ADDITIONAL DEPTH AS NECESSARY TO CLEAR OTHER UNSUITABLE MATERIAL FOR COMPACTED SUBGRADE.
- 02 REMOVE AND DISPOSE OF EXISTING AGGREGATE ROADWAY.
- 03 REMOVE AND DISPOSE OF EXISTING LIGHT, CONDUIT, AND CONDUCTOR.
- 04 REMOVE AND DISPOSE OF EXISTING FENCE TO NEAREST POLE.
- 05 EXISTING GAS LINE TO BE ABANDONED IN PLACE. REFER TO PLANS BY ARCHITECT AND NTUA.
- 06 REMOVE AND DISPOSE OF EXISTING CONCRETE CURB.
- 07 REMOVE AND DISPOSE OF EXISTING AC PAVEMENT.

PROTECT IN PLACE KEYNOTES:

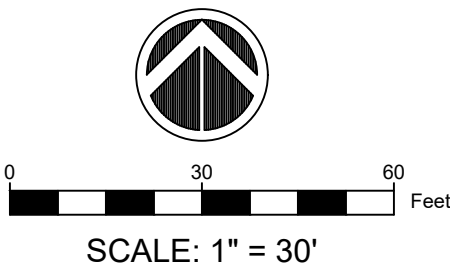
- A PROTECT IN PLACE EXISTING CONCRETE CURB.
- B PROTECT IN PLACE EXISTING AC PAVEMENT.
- C PROTECT IN PLACE EXISTING REMAINING SITE FENCING.
- D PROTECT IN PLACE EXISTING UNDERGROUND WATER LINE.
- E PROTECT IN PLACE EXISTING UNDERGROUND SEWER LINE.
- F PROTECT IN PLACE EXISTING UNDERGROUND GAS LINE.
- G PROTECT IN PLACE EXISTING AGGREGATE BASE DRIVEWAY.
- H PROTECT IN PLACE EXISTING TRASH ENCLOSURE

GENERAL DEMOLITION NOTES

- CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS / DISCREPANCIES BETWEEN FIELD CONDITIONS AND PLAN.
- EXISTING CONDITIONS ARE USED ON TOPOGRAPHIC SURVEY AS WELL AS AS-BUILT INFORMATION. CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.
- SAWCUT OF EXISTING ASPHALT PAVEMENT OR CONCRETE PAVEMENT ADJACENT TO THE NEW WORK TO BE CUT AT A NEAT LINE. IF THE PROPOSED CUT IS NEAR A CONCRETE JOINT THEN CUT AT THE JOINT LINE.

DEMOLITION LEGEND

- LOC LIMITS OF CONSTRUCTION
- PROPERTY LINE
- BUILDING LINE
- EX SD STORM DRAIN LINE
- EX W WATER LINE
- EX IRR IRRIGATION LINE
- EX SS SEWER LINE
- EX G GAS LINE
- EX E OVERHEAD UTILITY
- SAW CUT LINE
- ASPHALT OR CONCRETE PAVEMENT TO BE REMOVED
- EXISTING AGGREGATE ROADWAY TO BE REMOVED
- KEYNOTE SYMBOL WITH DIRECTION INDICATOR



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Ganado, AZ
100% CONSTRUCTION DOCUMENTS

OWNER:
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	Date	

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SHEET TITLE

DEMOLITION
PLAN

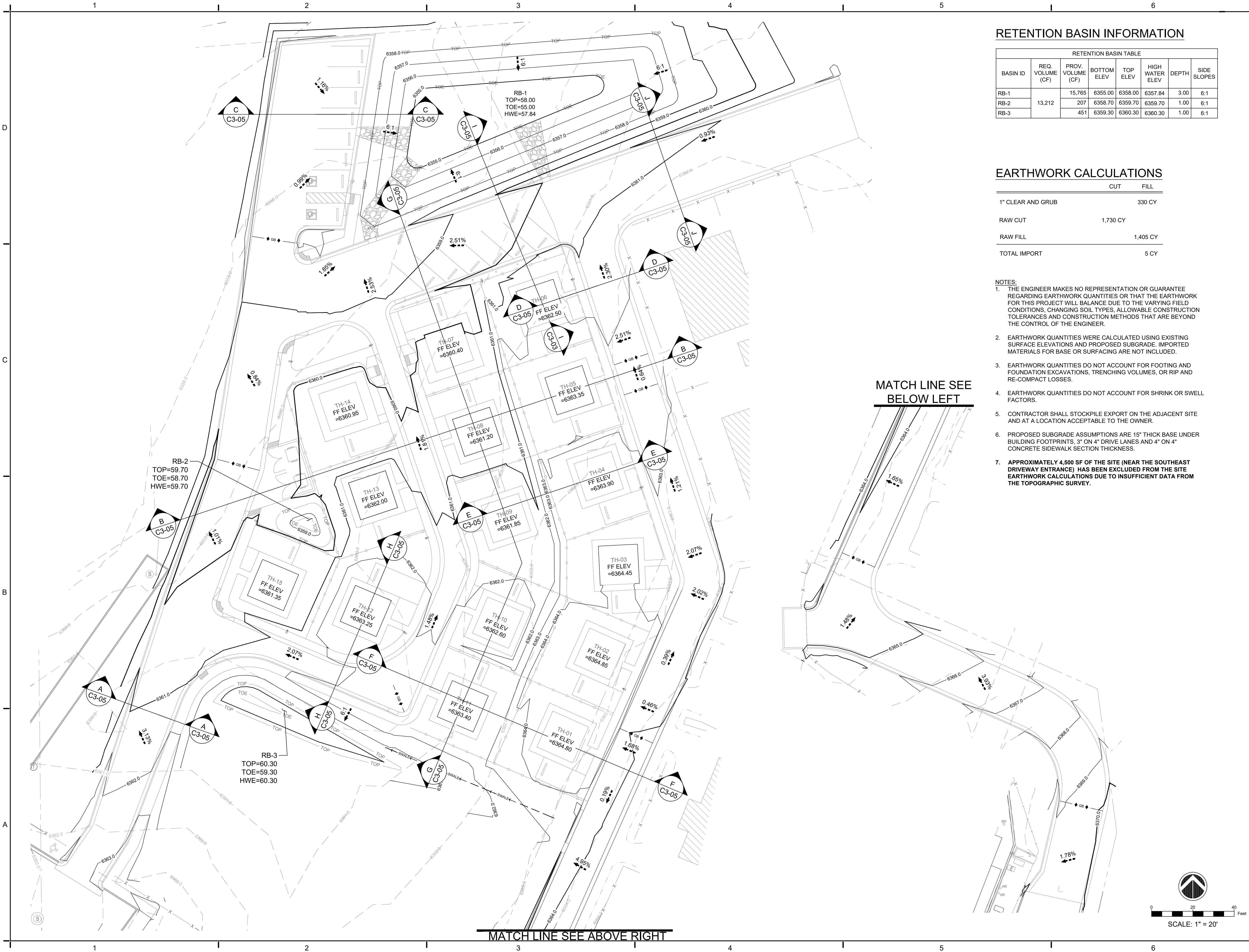
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C2-02

Sequence 4 of 23

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RETENTION BASIN INFORMATION

RETENTION BASIN TABLE							
BASIN ID	REQ. VOLUME (CF)	PROV. VOLUME (CF)	BOTTOM ELEV	TOP ELEV	HIGH WATER ELEV	DEPTH	SIDE SLOPES
RB-1	13,212	15,765	6355.00	6358.00	6357.84	3.00	6:1
RB-2		207	6358.70	6359.70	6359.70	1.00	6:1
RB-3		451	6359.30	6360.30	6360.30	1.00	6:1

EARTHWORK CALCULATIONS

	CUT	FILL
1" CLEAR AND GRUB		330 CY
RAW CUT	1,730 CY	
RAW FILL		1,405 CY
TOTAL IMPORT		5 CY

- NOTES:
- THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
 - EARTHWORK QUANTITIES WERE CALCULATED USING EXISTING SURFACE ELEVATIONS AND PROPOSED SUBGRADE. IMPORTED MATERIALS FOR BASE OR SURFACING ARE NOT INCLUDED.
 - EARTHWORK QUANTITIES DO NOT ACCOUNT FOR FOOTING AND FOUNDATION EXCAVATIONS, TRENCHING VOLUMES, OR RIP AND RE-COMPACT LOSSES.
 - EARTHWORK QUANTITIES DO NOT ACCOUNT FOR SHRINK OR SWELL FACTORS.
 - CONTRACTOR SHALL STOCKPILE EXPORT ON THE ADJACENT SITE AND AT A LOCATION ACCEPTABLE TO THE OWNER.
 - PROPOSED SUBGRADE ASSUMPTIONS ARE 15" THICK BASE UNDER BUILDING FOOTPRINTS, 3" ON 4" DRIVE LANES AND 4" ON 4" CONCRETE SIDEWALK SECTION THICKNESS.
 - APPROXIMATELY 4,500 SF OF THE SITE (NEAR THE SOUTHEAST DRIVEWAY ENTRANCE) HAS BEEN EXCLUDED FROM THE SITE EARTHWORK CALCULATIONS DUE TO INSUFFICIENT DATA FROM THE TOPOGRAPHIC SURVEY.

SAGE TINY HOMES - 15 UNITS
Ganado, AZ
100% CONSTRUCTION DOCUMENTS

OWNER:
Sage Memorial Hospital



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ENGINEER

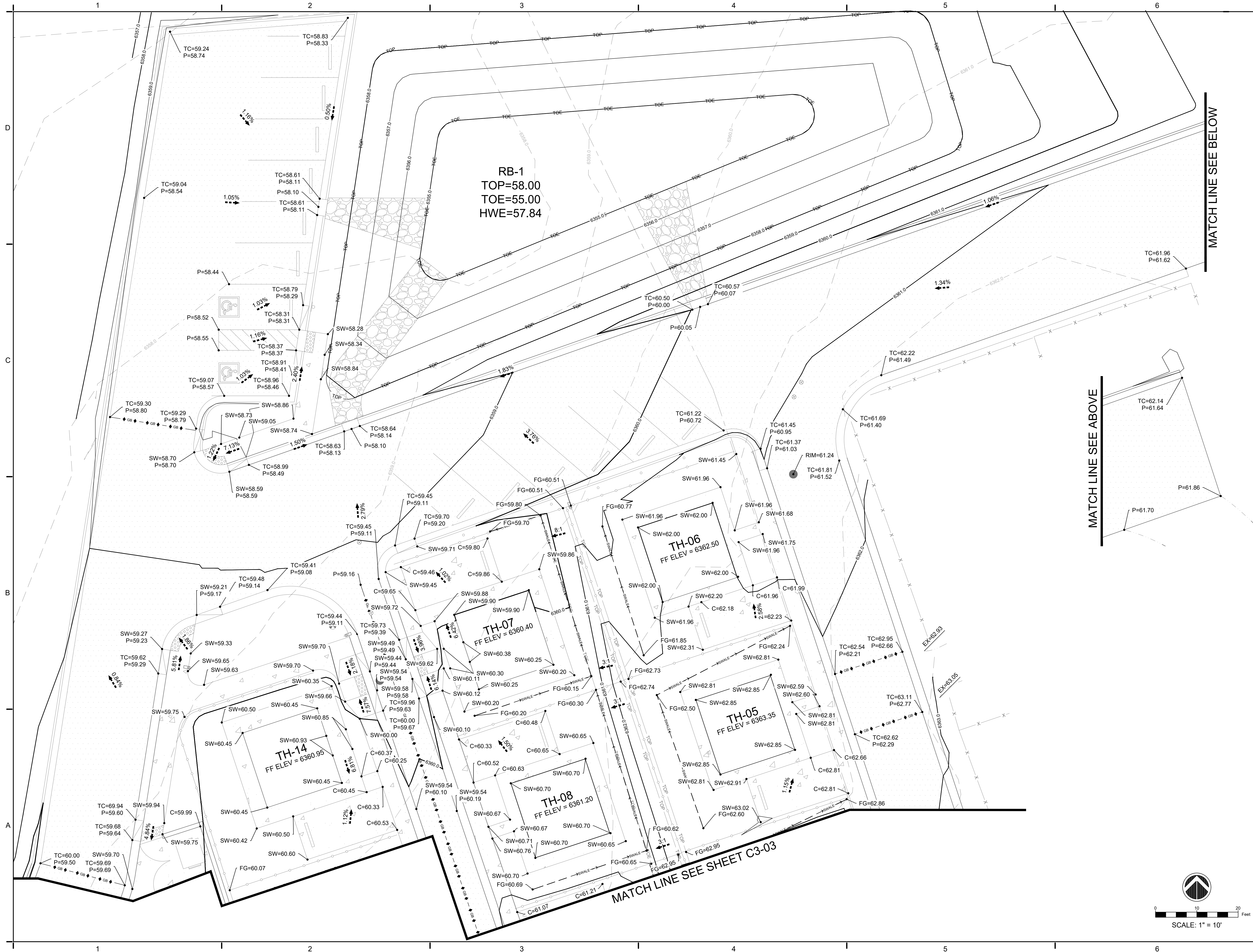
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SHEET TITLE
OVERALL
GRADING PLAN

SHEET NUMBER
C3-01
Sequence 5 of 23

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ENGINEER

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	Date	

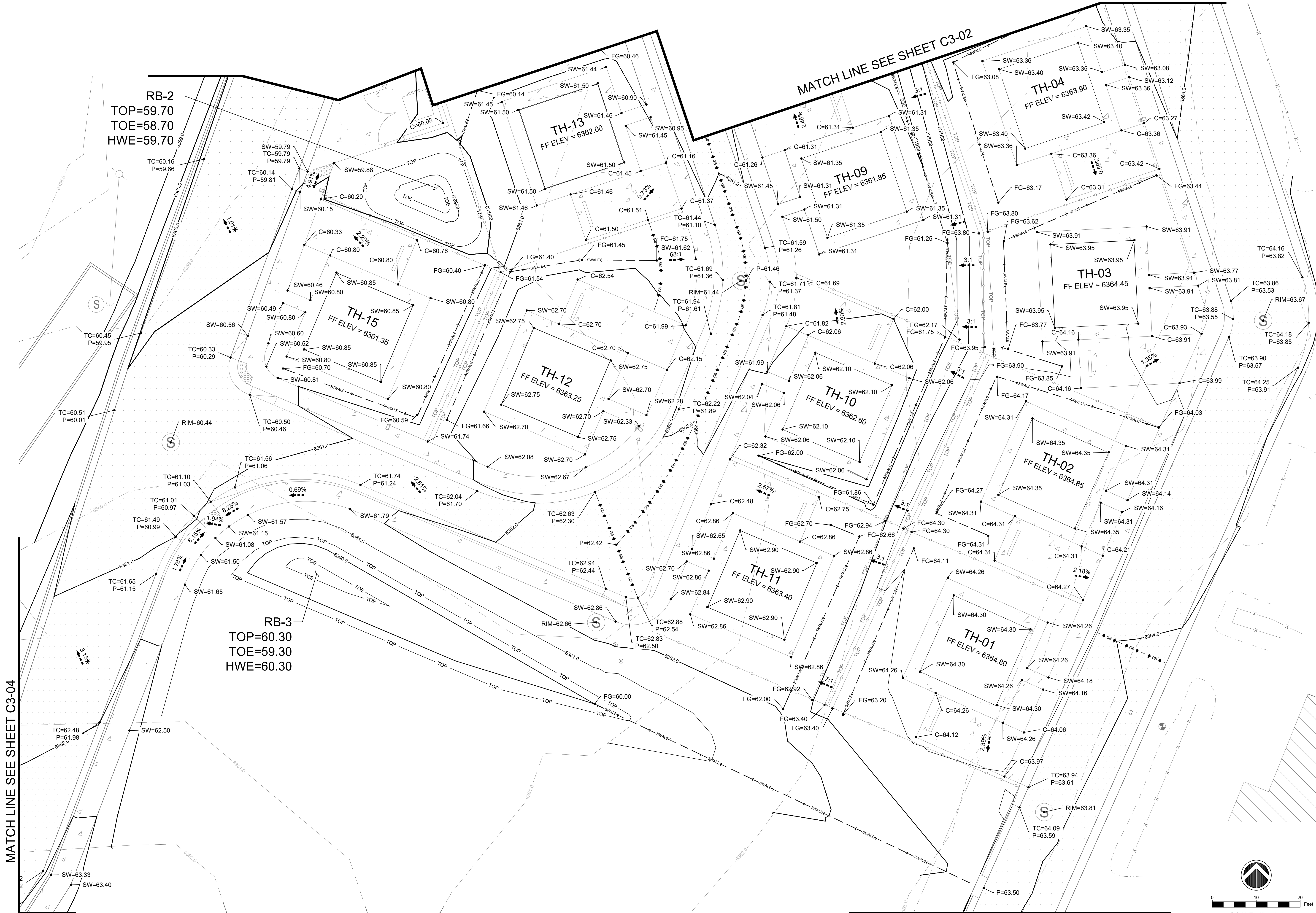
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SHEET TITLE
GRADING
ENLARGEMENT

SHEET NUMBER
C3-02
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MATCH LINE SEE SHEET C3-04



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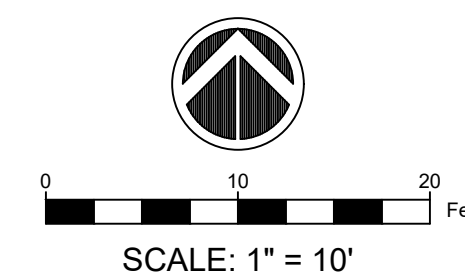
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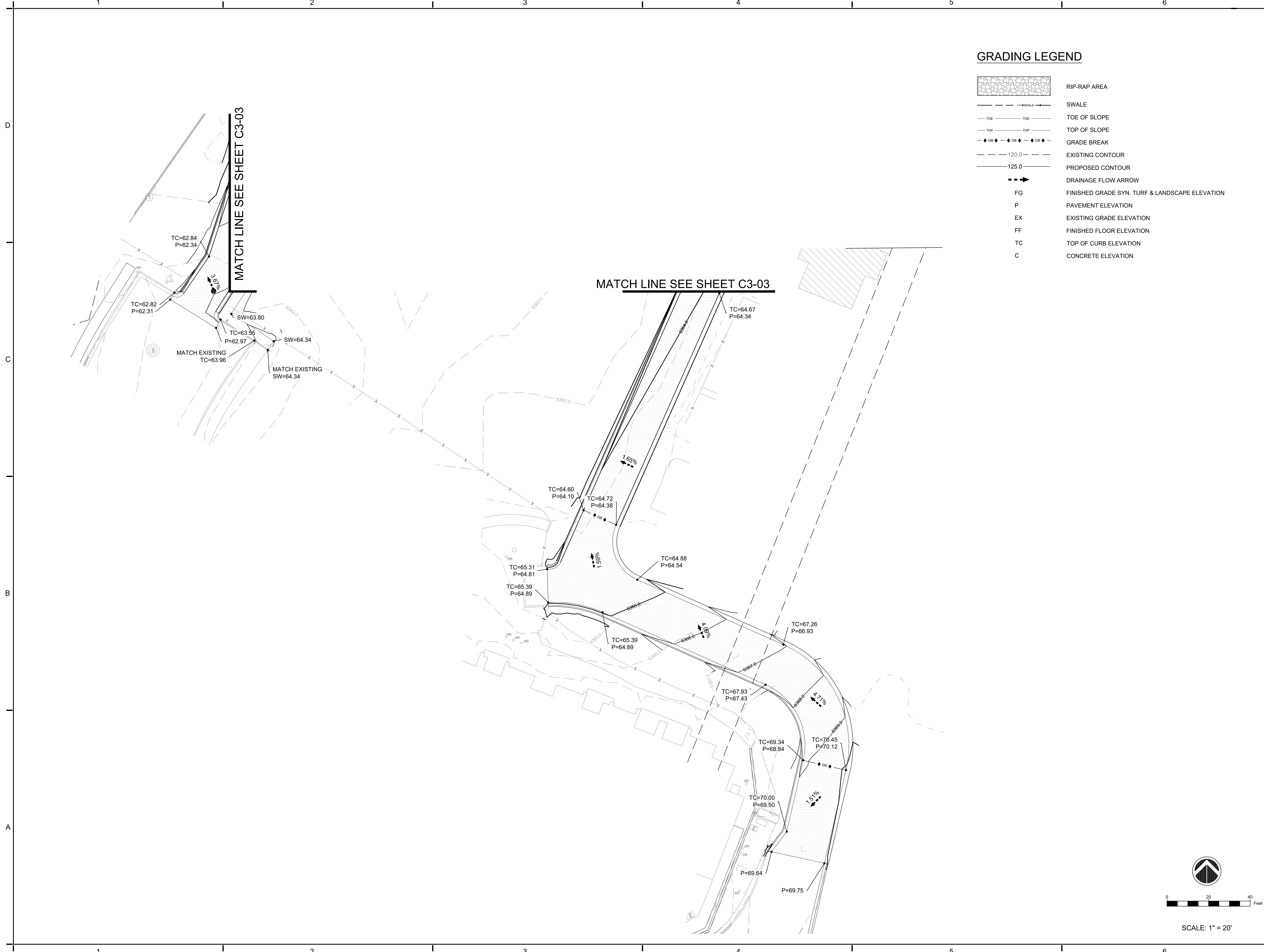
SHEET TITLE
GRADING
ENLARGEMENT

SHEET NUMBER
C3-03
Sequence 7 of 23



MATCH LINE SEE SHEET C3-04

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GRADING LEGEND

- RIP-RAP AREA
- SWALE
- TOE OF SLOPE
- TOP OF SLOPE
- GRADE BREAK
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DRAINAGE FLOW ARROW
- FINISHED GRADE SYN. TURF & LANDSCAPE ELEVATION
- PAVEMENT ELEVATION
- EXISTING GRADE ELEVATION
- FINISHED FLOOR ELEVATION
- TOP OF CURB ELEVATION
- CONCRETE ELEVATION

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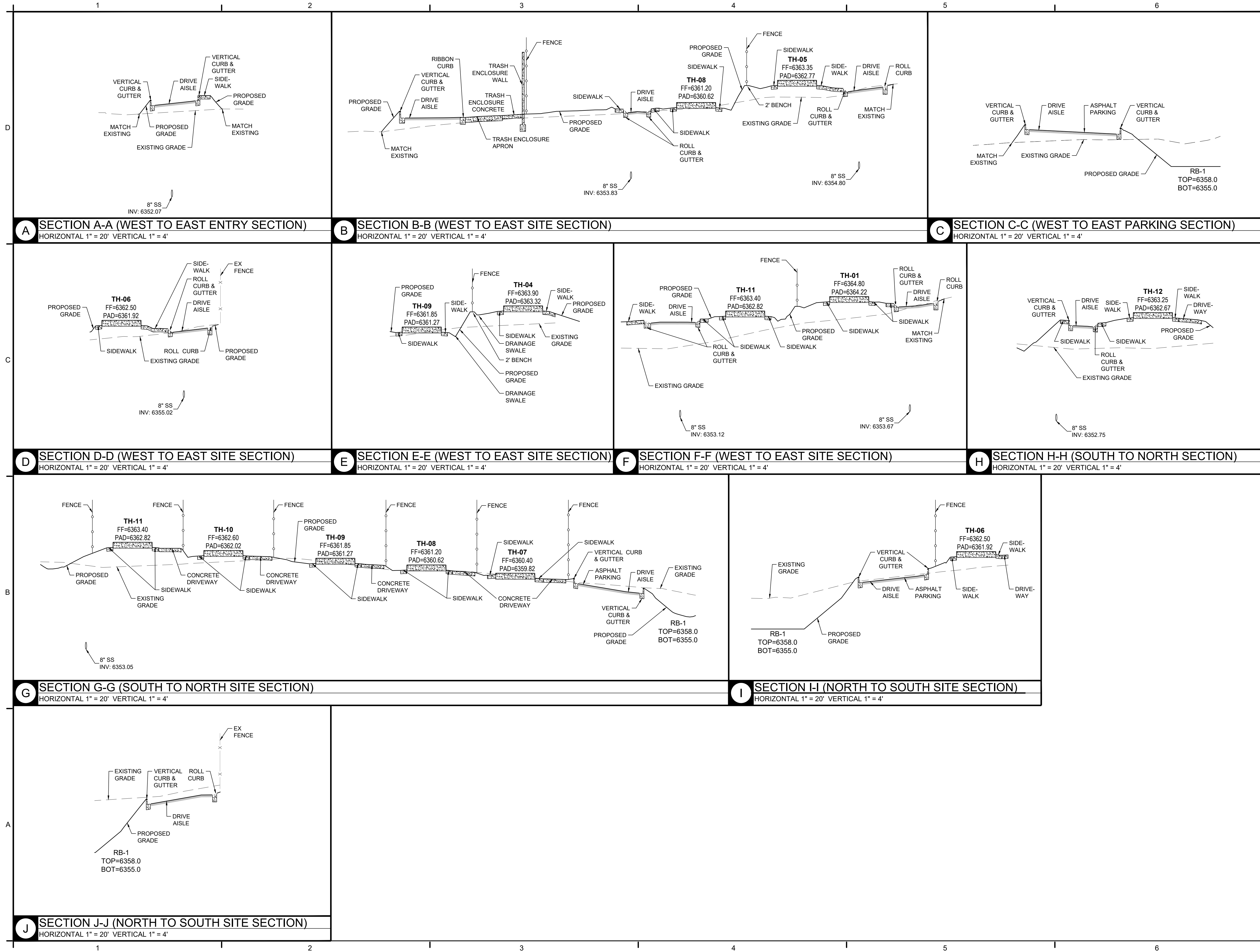
SHEET TITLE
GRADING PLAN
- DRIVEWAYS

SHEET NUMBER
C3-04
Sequence 8 of 23



0 20 40 Feet
SCALE: 1" = 20'

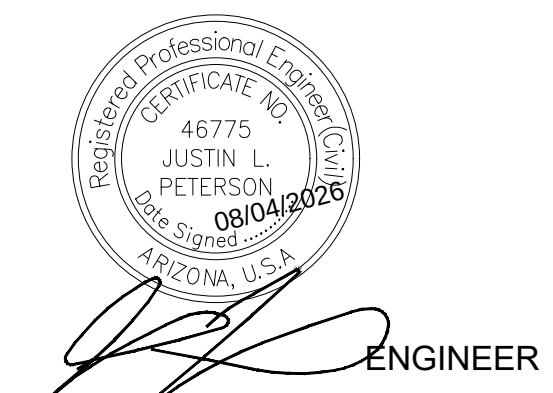
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07/10/2026
OWNER: Sage Memorial Hospital

FOURTH WORLD
DESIGN GROUP
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Tel 480.454.4713

LLOYD
SPORTS + ENGINEERING
960 W. ELLIOT ROAD
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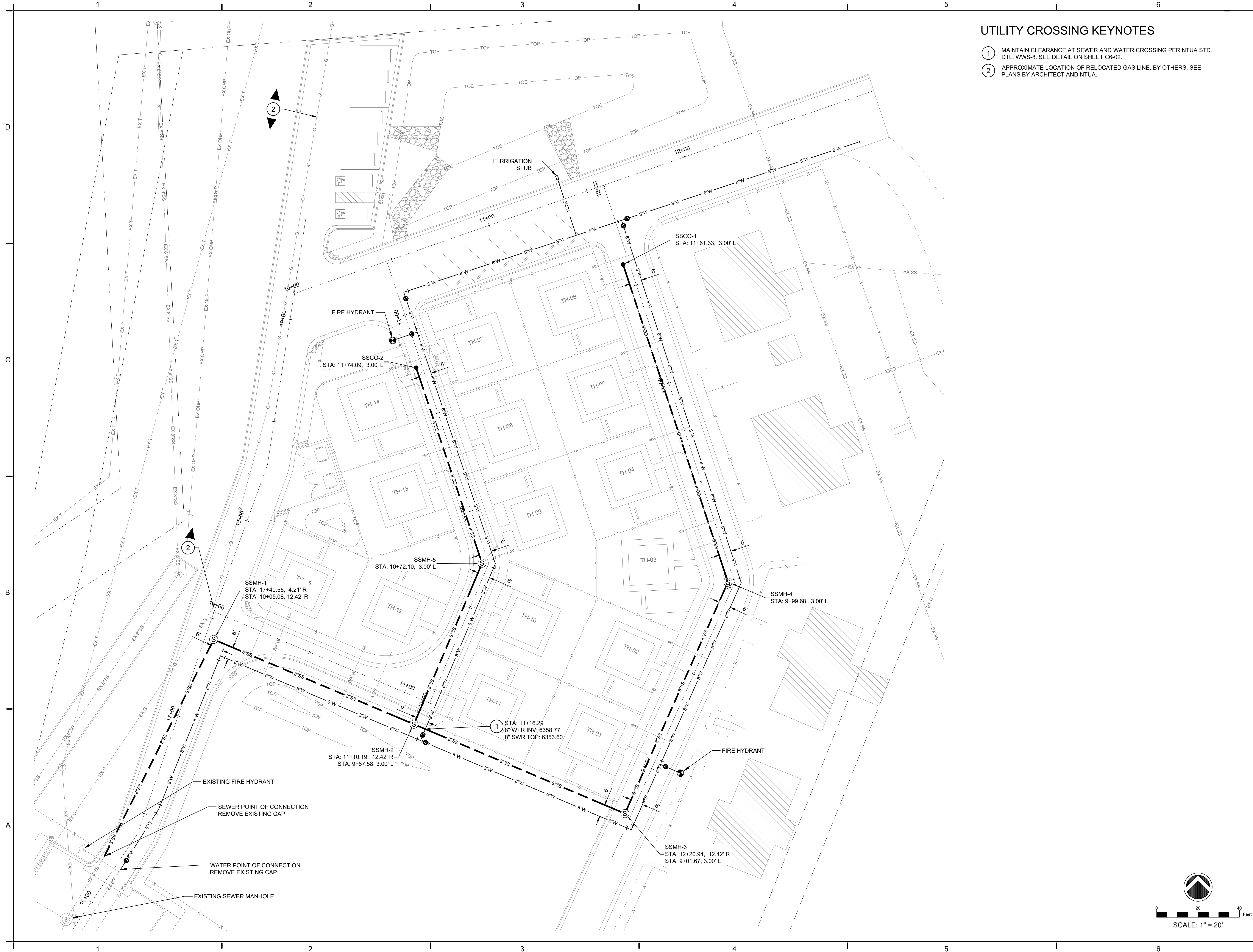
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SHEET TITLE
GRADING SECTIONS

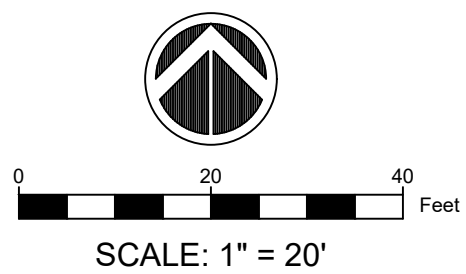
SHEET NUMBER
C3-05
Sequence 9 of 23

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UTILITY CROSSING KEYNOTES

- 1 MAINTAIN CLEARANCE AT SEWER AND WATER CROSSING PER NTUA STD. DTL. WWS-8. SEE DETAIL ON SHEET C6-02.
- 2 APPROXIMATE LOCATION OF RELOCATED GAS LINE, BY OTHERS. SEE PLANS BY ARCHITECT AND NTUA.



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Ganado, AZ
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OWNER:
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SHEET TITLE

**OVERALL UTILITY
AND CROSSING
PLAN**

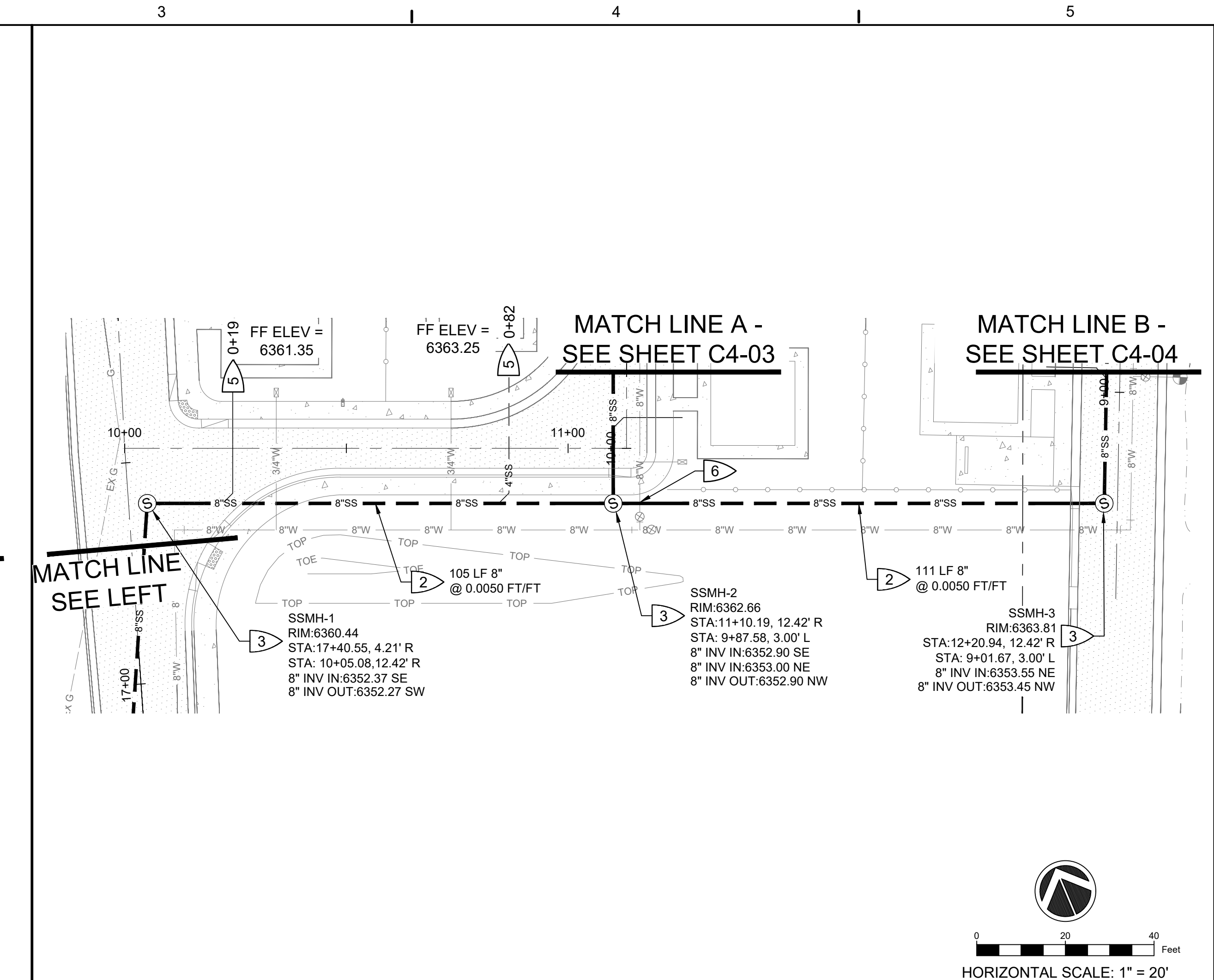
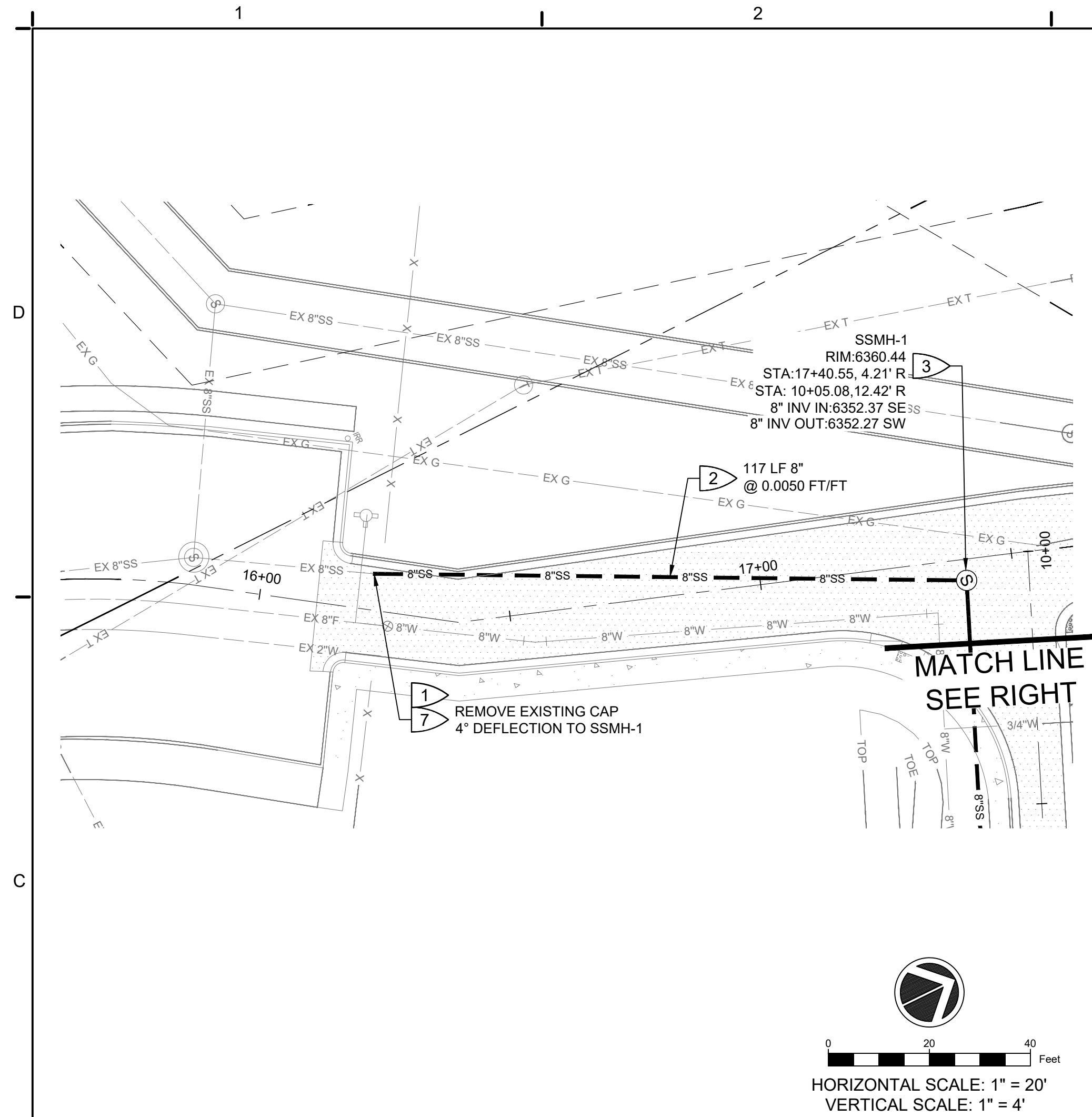
SHEET NUMBER

C4-01

Sequence 10 of 23

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SEWER KEYNOTES

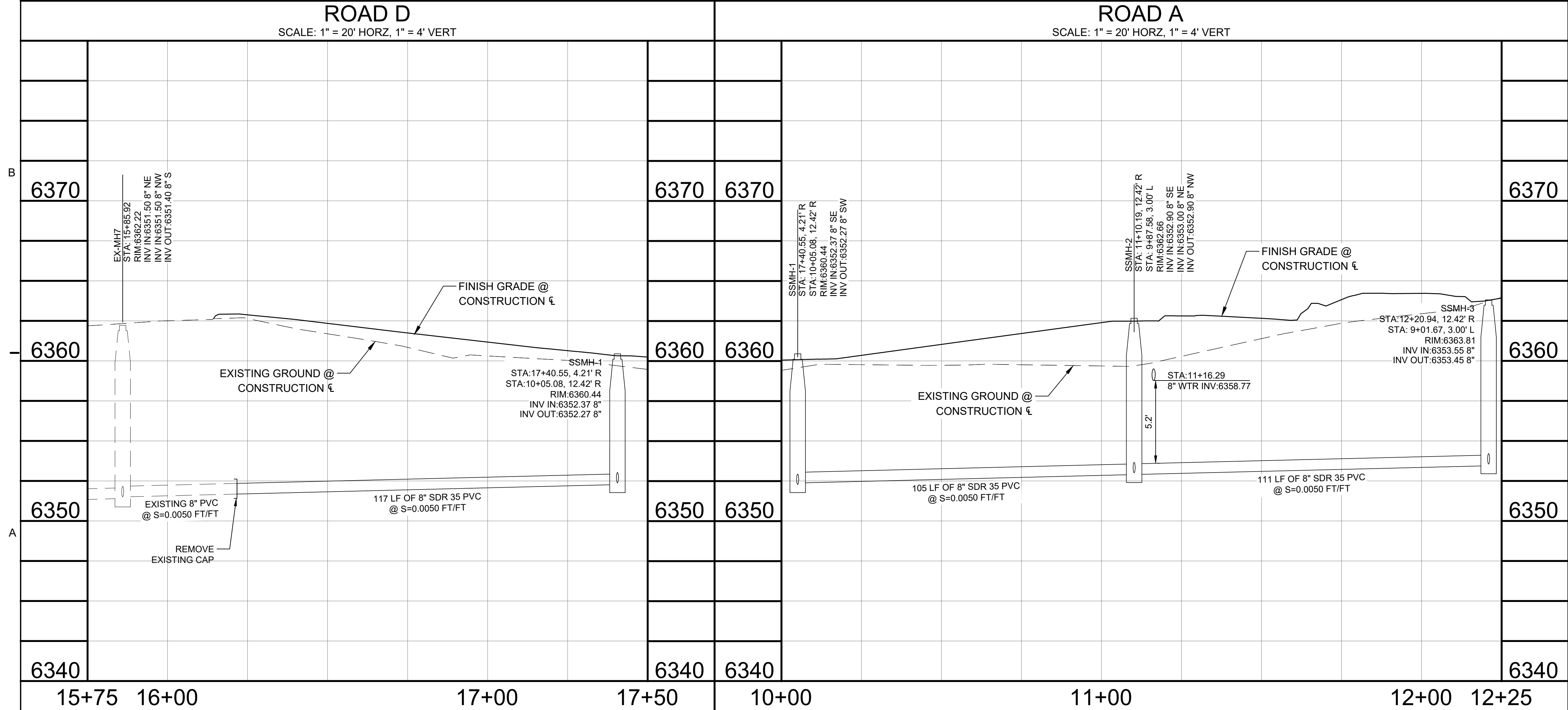
- CONTRACTOR TO POTHOLE AND VERIFY LOCATION, SIZE AND INVERT OF EXISTING SEWER LINE OR STUB PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- INSTALL 8" PVC (SDR-35) SEWER PIPE PER TRENCH AND BACKFILL DETAIL PER NTUA STD. DTL. WWS-10. LENGTH AND SLOPE PER PLAN. SEE DETAIL ON SHEET C6-02.
- INSTALL 4' DIAMETER PRECAST MANHOLE PER PER NTUA STD. DTL. WWS-4 WITH MANHOLE STEPS PER NTUA STD. DTL. WWS-6, AND MANHOLE RING AND COVER PER NTUA STD. DTL. WWS-5. SEE DETAILS ON SHEET C6-02.
- INSTALL 8" CLEANOUT PER NTUA STD. DTL. WWS-11. SEE DETAIL ON SHEET C6-02.
- INSTALL 4" SEWER SERVICE PER NTUA STD. DTL. WWS-1. SEE DETAIL ON SHEET C6-02. SEWER CONTINUATION PER BUILDING PLUMBING PLANS.
- MAINTAIN CLEARANCE AT SEWER AND WATER CROSSING PER NTUA STD. DTL. WWS-8. SEE DETAIL ON SHEET C6-02.
- REMOVE EXISTING SEWER PLUG AND EXTEND SEWER MAIN WITH A MAXIMUM 4" DEFLECTION TO THE NEXT UPSTREAM MANHOLE.

GENERAL UTILITY NOTES:

- A THOROUGH ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF ALL EXISTING UNDERGROUND OBSTRUCTIONS AND UTILITY LINE IN THE WORK AREA. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION OF ALL THE EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- ALL SEWER MUST COMPLY WITH APACHE COUNTY SPECIFICATIONS PART AND 2012 UNIFORM PLUMBING CODE.
- EXISTING SEWER INVERT IS ASSUMED FROM SAGE MEMORIAL HOSPITAL AS-BUILTS. CONTRACTOR TO POTHOLE AND VERIFY PRIOR TO CONSTRUCTION.
- IT SHOULD BE NOTED THAT MANHOLE RIM ELEVATIONS ARE SUBJECT TO CHANGE DUE TO FINAL GRADING OF THE SITE.

LEGEND

- REMEDATION EXTENTS
- NEW WATER LINE
- NEW FIRE LINE
- NEW IRRIGATION LINE
- TEMPORARY CAP
- TEE
- BEND
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- PVC SDR 35 SEWER PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT



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100% CONSTRUCTION DOCUMENTS

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SHEET TITLE

SEWER PLAN &
PROFILE

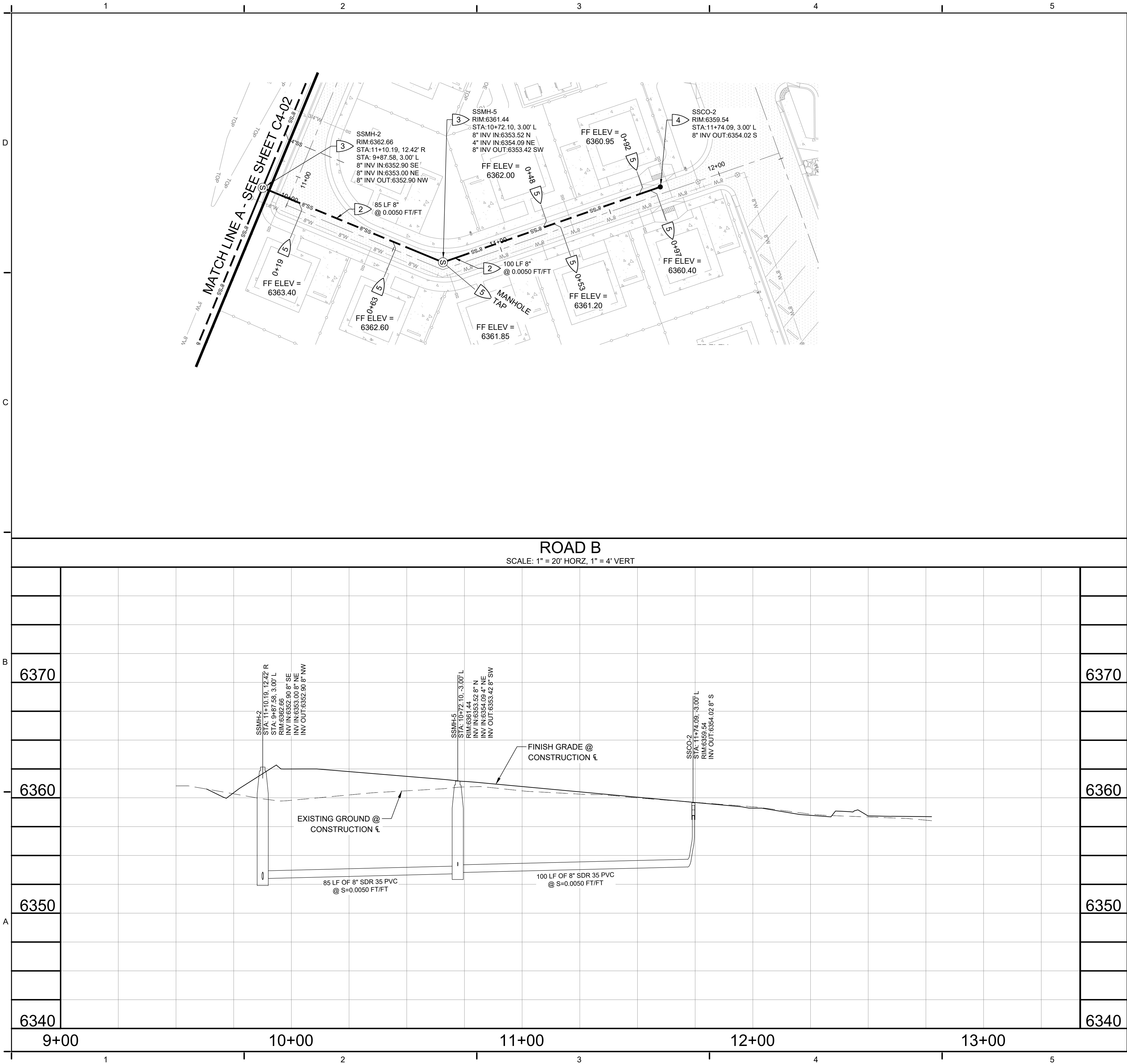
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SEWER KEYNOTES:

- CONTRACTOR TO POTHOLE AND VERIFY LOCATION, SIZE AND INVERT OF EXISTING SEWER LINE OR STUB PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- INSTALL 8" PVC (SDR-35) SEWER PIPE PER TRENCH AND BACKFILL DETAIL PER NTUA STD. DTL. WWS-10. LENGTH AND SLOPE PER PLAN. SEE DETAIL ON SHEET C6-02.
- INSTALL 4' DIAMETER PRECAST MANHOLE PER PER NTUA STD. DTL. WWS-4 WITH MANHOLE STEPS PER NTUA STD. DTL. WWS-6, AND MANHOLE RING AND COVER PER NTUA STD. DTL. WWS-5. SEE DETAILS ON SHEET C6-02.
- INSTALL 8" CLEANOUT PER NTUA STD. DTL. WWS-11. SEE DETAIL ON SHEET C6-02.
- INSTALL 4" SEWER SERVICE PER NTUA STD. DTL. WWS-1. SEE DETAIL ON SHEET C6-02. SEWER CONTINUATION PER BUILDING PLUMBING PLANS.
- MAINTAIN CLEARANCE AT SEWER AND WATER CROSSING PER NTUA STD. DTL. WWS-8. SEE DETAIL ON SHEET C6-02.
- REMOVE EXISTING SEWER PLUG AND EXTEND SEWER MAIN WITH A MAXIMUM 4" DEFLECTION TO THE NEXT UPSTREAM MANHOLE.

GENERAL UTILITY NOTES:

- A THOROUGH ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF ALL EXISTING UNDERGROUND OBSTRUCTIONS AND UTILITY LINE IN THE WORK AREA. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION OF ALL THE EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- ALL SEWER MUST COMPLY WITH APACHE COUNTY SPECIFICATIONS PART AND 2012 UNIFORM PLUMBING CODE.
- EXISTING SEWER INVERT IS ASSUMED FROM SAGE MEMORIAL HOSPITAL AS-BUILTS. CONTRACTOR TO POTHOLE AND VERIFY PRIOR TO CONSTRUCTION.
- IT SHOULD BE NOTED THAT MANHOLE RIM ELEVATIONS ARE SUBJECT TO CHANGE DUE TO FINAL GRADING OF THE SITE.

LEGEND

- REMEDATION EXTENTS
- NEW WATER LINE
- NEW FIRE LINE
- NEW IRRIGATION LINE
- TEMPORARY CAP
- TEE
- BEND
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- PVC SDR 35 SEWER PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT

OWNER:
Sage Memorial Hospital

FOURTH WORLD DESIGN GROUP
3707 E. Southern Ave., Suite 1047, Mesa, AZ 85206
Tel 480.454.4713

LLOYD SPORTS + ENGINEERING
960 W. ELLIOT ROAD SUITE 213 TEMPE, AZ 85284
PH 602.635.4226

ENGINEER
JUSTIN L. PETERSON
46775
08/04/2026
ARIZONA, U.S.A.

MARK	DATE	DESCRIPTION
	Date	

PROJECT INFORMATION:

PROJECT NUMBER: 2024.013
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SHEET TITLE

SEWER PLAN & PROFILE

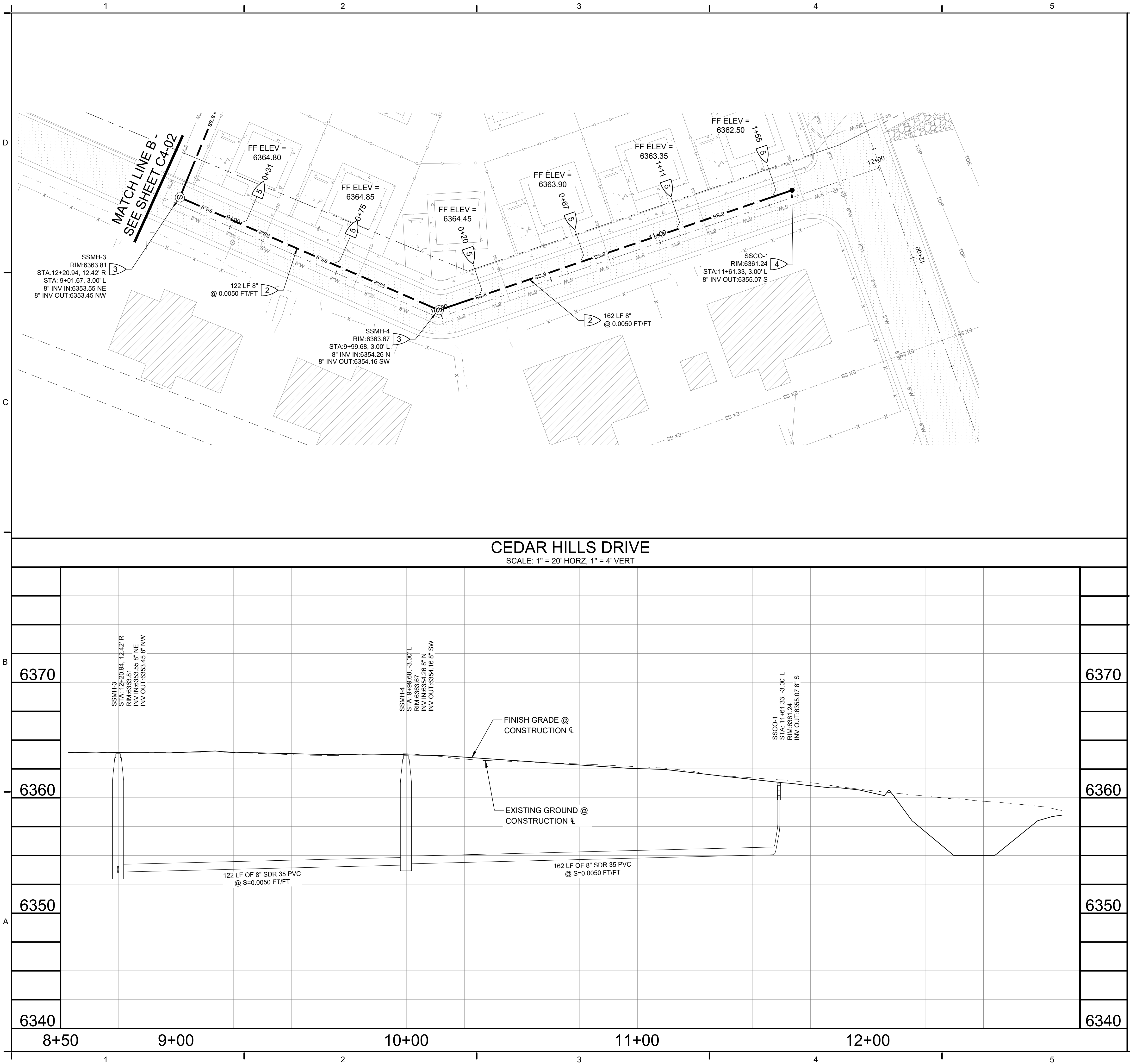
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C4-03

Sequence 12 of 23

June 22, 2026 11:37 AM

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SEWER KEYNOTES

- CONTRACTOR TO POTHOLE AND VERIFY LOCATION, SIZE AND INVERT OF EXISTING SEWER LINE OR STUB PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- INSTALL 8" PVC (SDR-35) SEWER PIPE PER TRENCH AND BACKFILL DETAIL PER NTUA STD. DTL. WWS-10. LENGTH AND SLOPE PER PLAN. SEE DETAIL ON SHEET C6-02.
- INSTALL 4' DIAMETER PRECAST MANHOLE PER PER NTUA STD. DTL. WWS-4 WITH MANHOLE STEPS PER NTUA STD. DTL. WWS-6, AND MANHOLE RING AND COVER PER NTUA STD. DTL. WWS-5. SEE DETAILS ON SHEET C6-02.
- INSTALL 8" CLEANOUT PER NTUA STD. DTL. WWS-11. SEE DETAIL ON SHEET C6-02.
- INSTALL 4" SEWER SERVICE PER NTUA STD. DTL. WWS-1. SEE DETAIL ON SHEET C6-02. SEWER CONTINUATION PER BUILDING PLUMBING PLANS.
- MAINTAIN CLEARANCE AT SEWER AND WATER CROSSING PER NTUA STD. DTL. WWS-8. SEE DETAIL ON SHEET C6-02.
- REMOVE EXISTING SEWER PLUG AND EXTEND SEWER MAIN WITH A MAXIMUM 4" DEFLECTION TO THE NEXT UPSTREAM MANHOLE.

GENERAL UTILITY NOTES:

- A THOROUGH ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF ALL EXISTING UNDERGROUND OBSTRUCTIONS AND UTILITY LINE IN THE WORK AREA. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION OF ALL THE EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- ALL SEWER MUST COMPLY WITH APACHE COUNTY SPECIFICATIONS PART AND 2012 UNIFORM PLUMBING CODE.
- EXISTING SEWER INVERT IS ASSUMED FROM SAGE MEMORIAL HOSPITAL AS-BUILTS. CONTRACTOR TO POTHOLE AND VERIFY PRIOR TO CONSTRUCTION.
- IT SHOULD BE NOTED THAT MANHOLE RIM ELEVATIONS ARE SUBJECT TO CHANGE DUE TO FINAL GRADING OF THE SITE.

LEGEND

- REMEDATION EXTENTS
- NEW WATER LINE
- NEW FIRE LINE
- NEW IRRIGATION LINE
- TEMPORARY CAP
- TEE
- BEND
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- PVC SDR 35 SEWER PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT

SAGE TINY HOMES - 15 UNITS
Ganado, AZ
100% CONSTRUCTION DOCUMENTS

OWNER: Sage Memorial Hospital

FOURTH WORLD DESIGN GROUP
3707 E. Southern Ave., Suite 1047, Mesa, AZ 85206 Tel 480.454.4713

LLOYD SPORTS + ENGINEERING
960 W. ELLIOT ROAD SUITE 213 TEMPE, AZ 85284 PH 602.635.4226

REGISTERED PROFESSIONAL ENGINEER
46775 JUSTIN L. PETERSON
Exp. 08/04/2026
ARIZONA, U.S.A.

MARK DATE DESCRIPTION

MARK	DATE	DESCRIPTION
	Date	

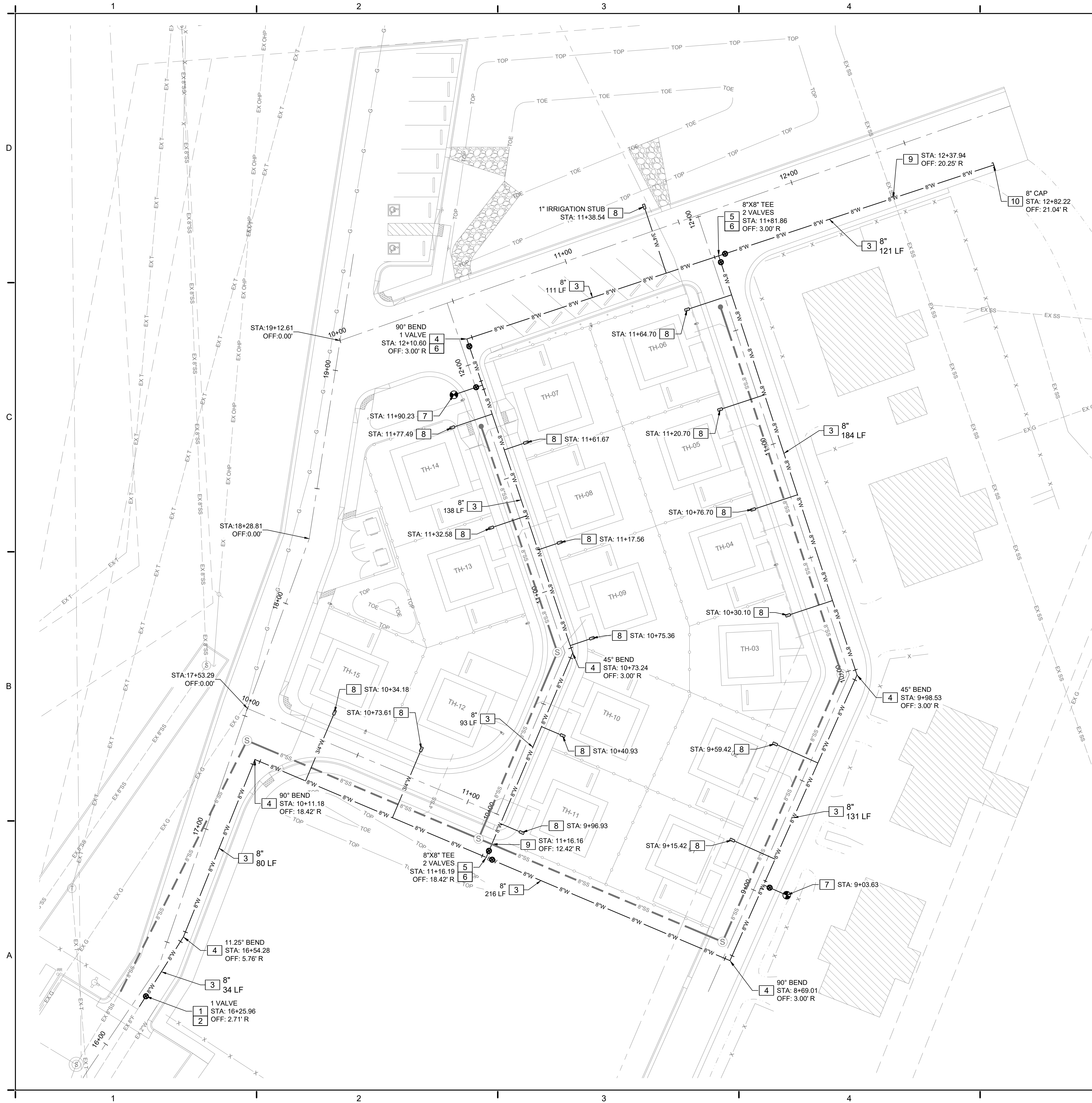
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SHEET TITLE
SEWER PLAN & PROFILE

SHEET NUMBER
C4-04
Sequence 13 of 23

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ON-SITE WATER KEYNOTES

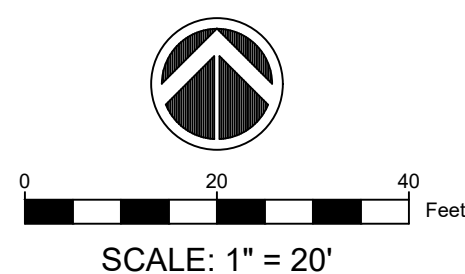
- CONTRACTOR TO POTHOLE AND VERIFY LOCATION, SIZE AND INVERT OF EXISTING WATER LINE OR STUB PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- REMOVE EXISTING PLUG AND EXTEND WATERLINE WITH NEW 8" GATE VALVE PER NTUA STD. DTL. WS-14. SEE DETAIL ON SHEET C6-02. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF EXISTING STUB. SHOULD CONDITIONS VARY FROM PLANS, STOP WORK IMMEDIATELY AND NOTIFY ENGINEERS.
- INSTALL 8" PVC C-900 (SDR 21 CLASS 200 AND 48" MINIMUM COVER) WATERLINE WITH 12 AWG TRACER WIRE. LENGTH AS INDICATED ON PLANS. INSTALL JOINT RESTRAINTS PER MANUFACTURERS REQUIREMENTS. TRENCH EXCAVATION BACKFILL AND COMPACTION PER NTUA STD. DTL. WS-15. SEE DETAIL ON SHEET C6-02.
- INSTALL PVC BEND (SIZE AND DEGREE PER PLAN), WITH CONCRETE THRUST BLOCKS PER NTUA STD. DTL. WS-19. SEE DETAIL ON SHEET C6-02.
- INSTALL PVC TEE (SIZE PER PLAN), WITH CONCRETE THRUST BLOCKS PER NTUA STD. DTL. WS-19. SEE DETAIL ON SHEET C6-02.
- INSTALL GATE VALVE PER NTUA STD. DTL. WS-14. SEE DETAIL ON SHEET C6-02.
- INSTALL FIRE HYDRANT ASSEMBLY PER NTUA STD. DTL. WS-12. SEE DETAIL ON SHEET C6-02.
- INSTALL 1" WATER SERVICE METER BOX AND COVER PER NTUA STD. DTL. WS-1. SEE DETAIL ON SHEET C6-02.
- MAINTAIN CLEARANCE AT WATER AND SEWER CROSSINGS PER NTUA STD. DTL. WS-20. SEE DETAIL ON SHEET C6-02.
- PVC WATERLINE CAP, SIZE PER PLAN WITH CONCRETE THRUST BLOCK PER NTUA STD. DTL. WS-19. SEE DETAIL ON SHEET C6-02.

LEGEND

- REMEDATION EXTENTS
- NEW WATER LINE
- NEW FIRE LINE
- NEW IRRIGATION LINE
- TEMPORARY CAP
- TEE
- BEND
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- PVC SDR 35 SEWER PIPE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT

NOTES:

- A THOROUGH ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF ALL EXISTING UNDERGROUND OBSTRUCTIONS AND UTILITY LINE IN THE WORK AREA. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION OF ALL THE EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- VALVES SHALL HAVE FLANGED (FL) CONNECTIONS DIRECTLY TO FITTINGS (TEE, CROSSES). VALVES MAY HAVE FLANGE (FL) OR MECHANICAL JOINTS (MJ) CONNECTIONS TO PIPE. ALL FLANGED FITTINGS SHALL BE RATED AT 250 PSI.
- POLYETHYLENE WRAPPING (8 MILS MINIMUM THICKNESS IN ACCORDANCE WITH AWWA STANDARD C-105) SHALL BE INSTALLED AROUND DUCTILE IRON FITTINGS, AND VALVES, FIRE HYDRANT BARRELS AND RODS AND CLAMPS.
- TRENCHES SHALL NOT BE BACKFILLED (INCLUDING BEDDING MATERIAL ABOVE SPRING LINE OF THE PIPE) UNTIL THE PIPE LAYING HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY A NTUA REPRESENTATIVE.
- ALL NEW WATER LINES SHALL BE TESTED. HYDROSTATIC TESTING, DISINFECTION, FLUSHING AND BACTERIOLOGICAL TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH NTUA TECHNICAL SPECIFICATIONS FOR MATERIALS AND WORKMANSHIP FOR WATER AND WASTEWATER FACILITIES. NTUA REPRESENTATIVE SHALL BE PRESENT FOR ALL TESTING.
- CONTRACTOR TO PURCHASE WATER METER(S) WITHIN MODULE(S) AT THE LOCAL NTUA DISTRICT OFFICE.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF ALL UTILITIES TO THE OWNER AND NTUA IN HARD COPY AND DIGITAL FORMAT.



SAGE TINY HOMES - 15 UNITS
Ganado, AZ
100% CONSTRUCTION DOCUMENTS

OWNER:
Sage Memorial Hospital



3707 E. Southern Ave.,
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TEMPE, AZ 85284
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ENGINEER

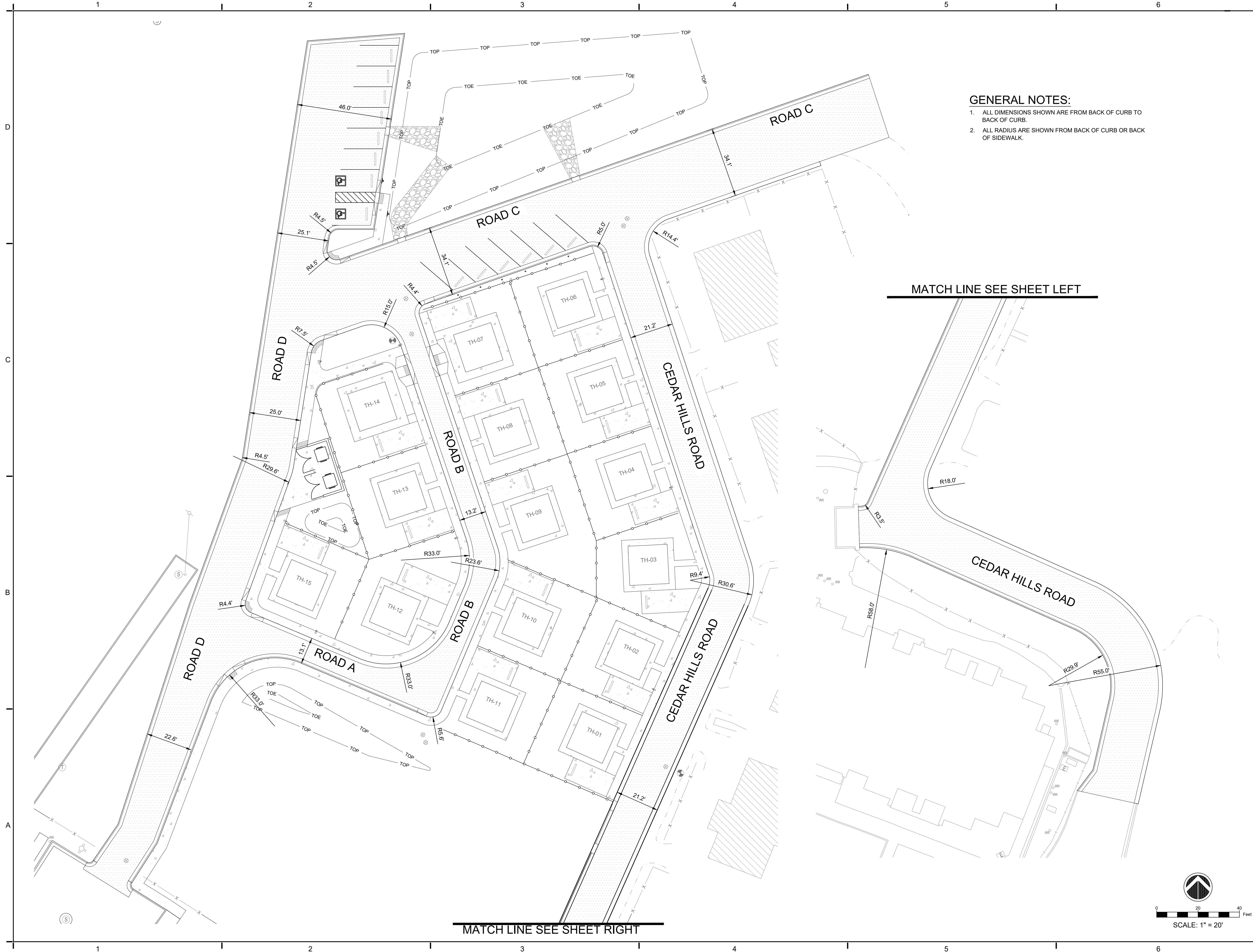
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SHEET TITLE
WATER PLAN

SHEET NUMBER
C4-05
Sequence 14 of 23

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- GENERAL NOTES:**
1. ALL DIMENSIONS SHOWN ARE FROM BACK OF CURB TO BACK OF CURB.
 2. ALL RADII ARE SHOWN FROM BACK OF CURB OR BACK OF SIDEWALK.

MATCH LINE SEE SHEET LEFT

MATCH LINE SEE SHEET RIGHT

SAGE TINY HOMES - 15 UNITS
Ganado, AZ
100% CONSTRUCTION DOCUMENTS

OWNER:
Sage Memorial Hospital

FOURTH WORLD
DESIGN GROUP
3707 E. Southern Ave.,
Suite 1047,
Mesa, AZ 85206
Tel 480.454.4713

LLOYD
SPORTS + ENGINEERING
960 W. ELLIOT ROAD
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TEMPE, AZ 85284
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SHEET TITLE
OVERALL PAVING PLAN

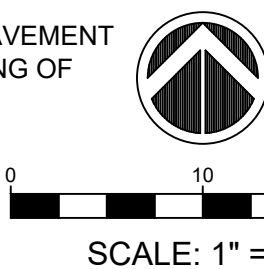
SHEET NUMBER
C5-01
Sequence 15 of 23

1. ALL CALLOUT NOTES MAY NOT BE REPRESENTED ON THIS SHEET.
2. ALL RAMP SLOPES ARE PER ADA REQUIREMENTS MAXIMUM SLOPE OF RAMP SHALL BE 1:12 WITH MAXIMUM RISE OF 30 INCHES. RAMPS SHALL HAVE A MINIMUM 60 INCH X 60 INCH LANDING. HANDRAIL SHALL BE REQUIRED IF RAMP HAS RISE GREATER THAN 6 INCHES OR A HORIZONTAL PROJECTION GREATER THAN 72 INCHES.
3. EXISTING DRIVEWAY SHALL NOT BE BLOCKED DURING CONSTRUCTION.

MATCH LINE SEE BELOW

MATCH LINE SEE ABOVE

- (1) CONTRACTOR TO VERIFY ELEVATION OF EXISTING CURB OR SIDEWALK TIE-IN LOCATION AND MATCH EXISTING. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- (2) INSTALL 6" BOLLARD TYPE 1 PERMANENT PER MAG STD. DTL. 140.
- (3) CONSTRUCT 3" AC ON 4" ABC PER MAG SPECIFICATIONS AND GEOTECHNICAL REPORT REQUIREMENTS.
- (4) INSTALL 4" CONCRETE SIDEWALK PER MAG STD. DTL. 230 OVER 4" ABC, WIDTH PER PLAN. JOINT SPACING SHALL BE 3' ON CENTER. MAINTAIN 3' CLEARANCE AROUND TINY HOME.
- (5) INSTALL RIBBON CURB PER MAG STD. DTL. 220-1, TYPE "B".
- (6) INSTALL 4" ROLL CURB & GUTTER PER MAG STD. DTL. 220-1, TYPE "C".
- (7) INSTALL 4" ROLL CURB & GUTTER PER MAG STD. DTL. 220-1, TYPE "D".
- (8) INSTALL 6" VERTICAL CURB AND GUTTER PER MAG STD. DTL. 220-1, TYPE "A".
- (9) INSTALL 5" CURB AND GUTTER TRANSITION PER MAG STD. DTL. 221.
- (10) INSTALL 5" ROLL CURB AND GUTTER TRANSITION TO RIBBON CURB PER DETAIL 5 ON SHEET C6-01.
- (11) CONSTRUCT CONCRETE CURB OPENING PER MAG STD. DTL. 226-2, TYPE "2", OPENING PER PLAN.
- (12) CONSTRUCT ASPHALT THICKENED EDGE PER MAG STD. DTL. 201, TYPE "A".
- (13) ADJUST WATER VALVE AND METER BOXES TO FINISH GRADE PER MAG STD. DTL. 391-1, TYPE "A".
- (14) ADJUST SEWER MANHOLES AND CLEANOUTS TO FINISH GRADE PER MAG STD. DTL. 422-1.
- (15) INSTALL FIRE HYDRANT MARKER PER MAG STD. DTL. 122.
- (16) INSTALL SIDEWALK RAMP AND ADA TRUNCATED DOMES PER DETAIL 6 ON SHEET C6-01.
- (17) CHAIN LINK FENCE BY OTHERS.
- (18) CONSTRUCT TRASH ENCLOSURE PER DETAIL 1 ON SHEET C6-01.
- (19) INSTALL GROUTED RIPRAP SPILLWAY PER DETAIL 2 ON SHEET C6-01. LENGTH AND WIDTH PER PLAN.
- (20) INSTALL CURB TERMINATION PER MAG STD. DTL. 222.
- (21) CONSTRUCT 7" THICK (MAG AA, 4,000 PSI) CONCRETE PAVEMENT OVER COMPACTED SUBGRADE. MAXIMUM JOINT SPACING OF 12 FEET IN EITHER DIRECTION.



SCALE: 1" = 10'

SAGE TINY HOMES - 15 UNITS

Ganado, AZ

100% CONSTRUCTION DOCUMENTS

07/10/2026

OWNER:
Sage Memorial Hospital



3707 E. Southern Ave.,
Suite 1047,
Mesa, AZ 85206
Tel 480.454.4713



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SUITE 213
TEMPE, AZ 85284
PH 602.635.4226



ENGINEER

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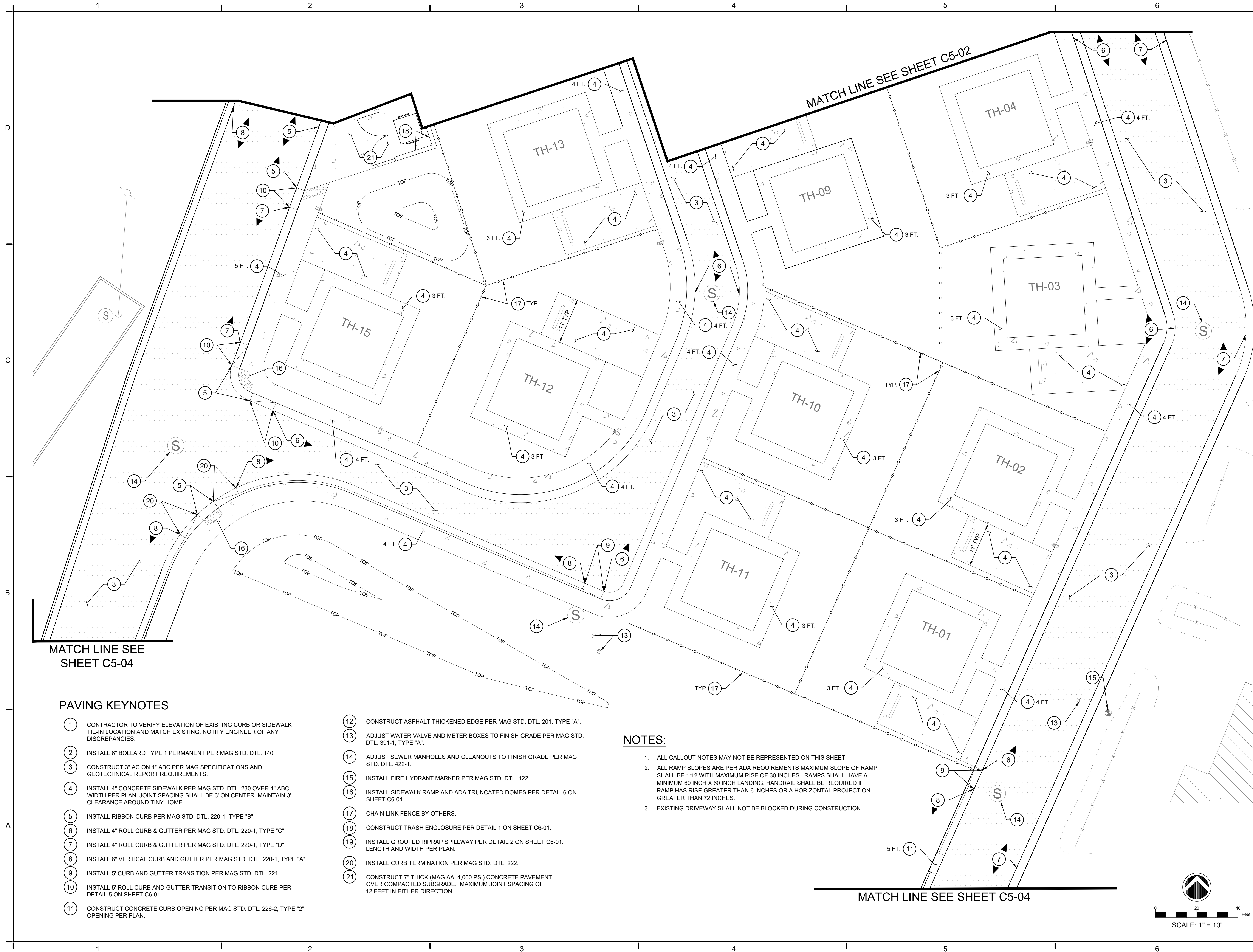
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SHEET NUMBER

C5-02

Sequence 16 of 23

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PAVING KEYNOTES

- CONTRACTOR TO VERIFY ELEVATION OF EXISTING CURB OR SIDEWALK TIE-IN LOCATION AND MATCH EXISTING. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- INSTALL 6" BOLLARD TYPE 1 PERMANENT PER MAG STD. DTL. 140.
- CONSTRUCT 3" AC ON 4" ABC PER MAG SPECIFICATIONS AND GEOTECHNICAL REPORT REQUIREMENTS.
- INSTALL 4" CONCRETE SIDEWALK PER MAG STD. DTL. 230 OVER 4" ABC, WIDTH PER PLAN. JOINT SPACING SHALL BE 3' ON CENTER. MAINTAIN 3' CLEARANCE AROUND TINY HOME.
- INSTALL RIBBON CURB PER MAG STD. DTL. 220-1, TYPE "B".
- INSTALL 4" ROLL CURB & GUTTER PER MAG STD. DTL. 220-1, TYPE "C".
- INSTALL 4" ROLL CURB & GUTTER PER MAG STD. DTL. 220-1, TYPE "D".
- INSTALL 6" VERTICAL CURB AND GUTTER PER MAG STD. DTL. 220-1, TYPE "A".
- INSTALL 5' CURB AND GUTTER TRANSITION PER MAG STD. DTL. 221.
- INSTALL 5' ROLL CURB AND GUTTER TRANSITION TO RIBBON CURB PER DETAIL 5 ON SHEET C6-01.
- CONSTRUCT CONCRETE CURB OPENING PER MAG STD. DTL. 226-2, TYPE "2", OPENING PER PLAN.
- CONSTRUCT ASPHALT THICKENED EDGE PER MAG STD. DTL. 201, TYPE "A".
- ADJUST WATER VALVE AND METER BOXES TO FINISH GRADE PER MAG STD. DTL. 391-1, TYPE "A".
- ADJUST SEWER MANHOLES AND CLEANOUTS TO FINISH GRADE PER MAG STD. DTL. 422-1.
- INSTALL FIRE HYDRANT MARKER PER MAG STD. DTL. 122.
- INSTALL SIDEWALK RAMP AND ADA TRUNCATED DOMES PER DETAIL 6 ON SHEET C6-01.
- CHAIN LINK FENCE BY OTHERS.
- CONSTRUCT TRASH ENCLOSURE PER DETAIL 1 ON SHEET C6-01.
- INSTALL GROUTED RIPRAP SPILLWAY PER DETAIL 2 ON SHEET C6-01. LENGTH AND WIDTH PER PLAN.
- INSTALL CURB TERMINATION PER MAG STD. DTL. 222.
- CONSTRUCT 7" THICK (MAG AA, 4,000 PSI) CONCRETE PAVEMENT OVER COMPACTED SUBGRADE. MAXIMUM JOINT SPACING OF 12 FEET IN EITHER DIRECTION.

NOTES:

- ALL CALLOUT NOTES MAY NOT BE REPRESENTED ON THIS SHEET.
- ALL RAMP SLOPES ARE PER ADA REQUIREMENTS MAXIMUM SLOPE OF RAMP SHALL BE 1:12 WITH MAXIMUM RISE OF 30 INCHES. RAMPS SHALL HAVE A MINIMUM 60 INCH X 60 INCH LANDING. HANDRAIL SHALL BE REQUIRED IF RAMP HAS RISE GREATER THAN 6 INCHES OR A HORIZONTAL PROJECTION GREATER THAN 72 INCHES.
- EXISTING DRIVEWAY SHALL NOT BE BLOCKED DURING CONSTRUCTION.

SAGE TINY HOMES - 15 UNITS
Ganado, AZ
100% CONSTRUCTION DOCUMENTS
07/10/2026
OWNER: Sage Memorial Hospital



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Tel 480.454.4713



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ENGINEER

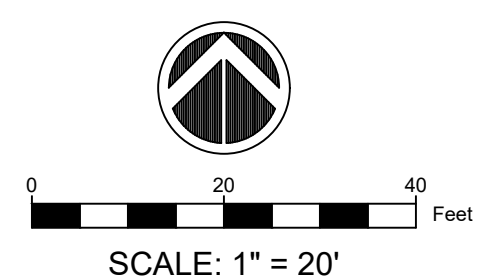
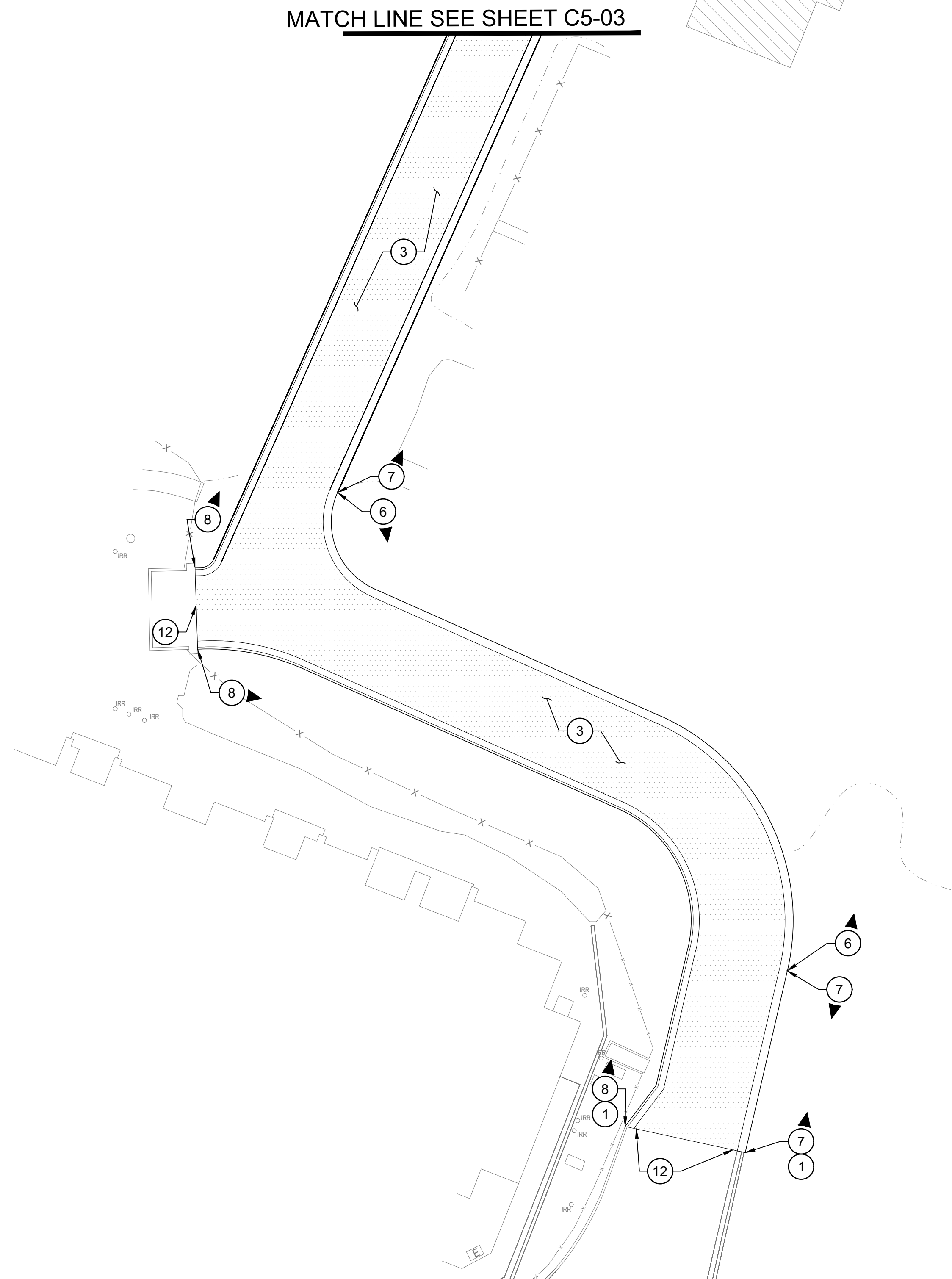
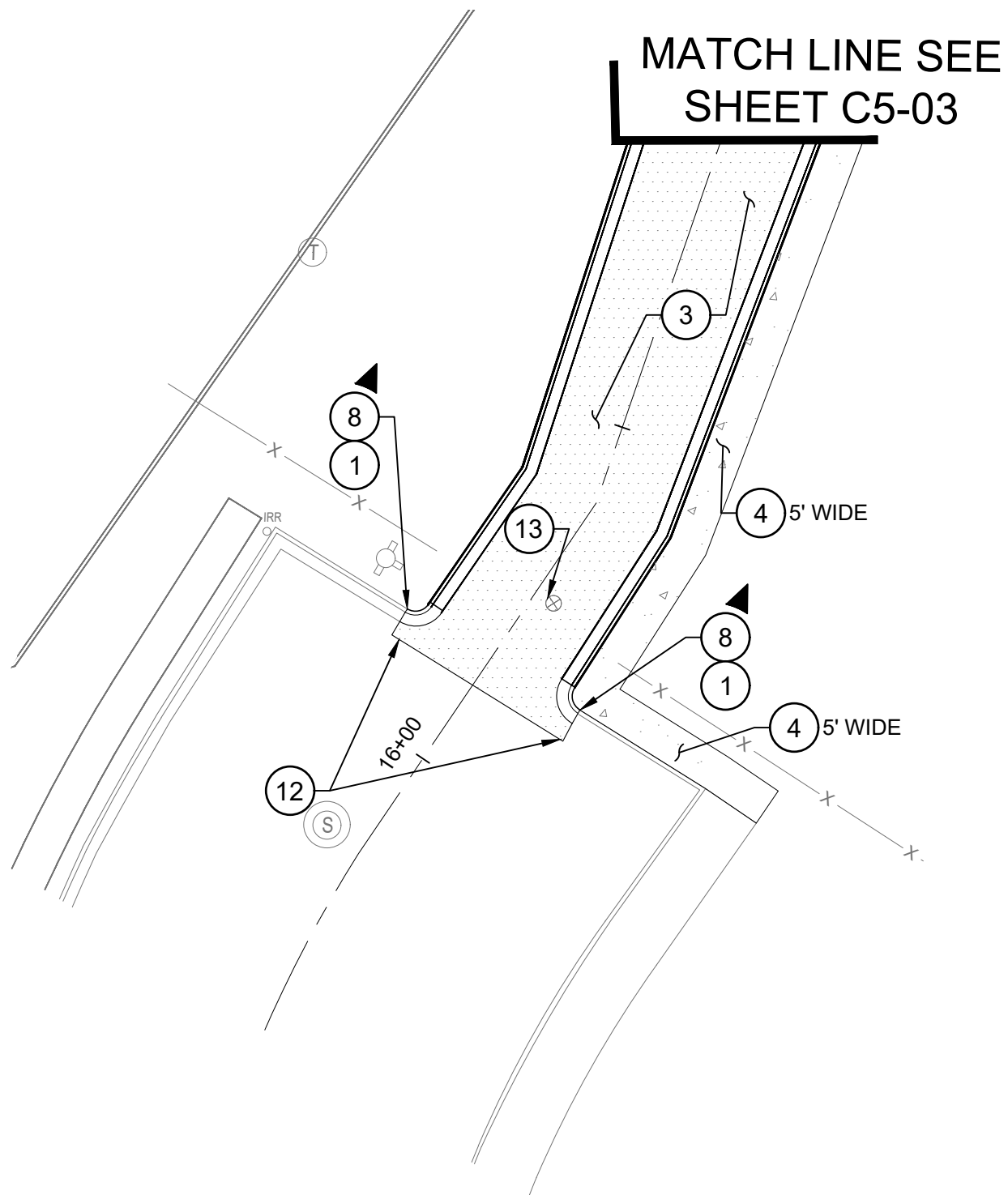
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**PAVING
ENLARGEMENT**

SHEET NUMBER
C5-03
Sequence 17 of 23

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PAVING KEYNOTES

- 1 CONTRACTOR TO VERIFY ELEVATION OF EXISTING CURB OR SIDEWALK TIE-IN LOCATION AND MATCH EXISTING. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 2 INSTALL 6" BOLLARD TYPE 1 PERMANENT PER MAG STD. DTL. 140.
- 3 CONSTRUCT 3" AC ON 4" ABC PER MAG SPECIFICATIONS AND GEOTECHNICAL REPORT REQUIREMENTS.
- 4 INSTALL 4" CONCRETE SIDEWALK PER MAG STD. DTL. 230 OVER 4" ABC, WIDTH PER PLAN. JOINT SPACING SHALL BE 3' ON CENTER. MAINTAIN 3' CLEARANCE AROUND TINY HOME.
- 5 INSTALL RIBBON CURB PER MAG STD. DTL. 220-1, TYPE "B".
- 6 INSTALL 4" ROLL CURB & GUTTER PER MAG STD. DTL. 220-1, TYPE "C".
- 7 INSTALL 4" ROLL CURB & GUTTER PER MAG STD. DTL. 220-1, TYPE "D".
- 8 INSTALL 6" VERTICAL CURB AND GUTTER PER MAG STD. DTL. 220-1, TYPE "A".
- 9 INSTALL 5' CURB AND GUTTER TRANSITION PER MAG STD. DTL. 221.
- 10 INSTALL 5' ROLL CURB AND GUTTER TRANSITION TO RIBBON CURB PER DETAIL 5 ON SHEET C6-01.
- 11 CONSTRUCT CONCRETE CURB OPENING PER MAG STD. DTL. 226-2, TYPE "2", OPENING PER PLAN.
- 12 CONSTRUCT ASPHALT THICKENED EDGE PER MAG STD. DTL. 201, TYPE "A".
- 13 ADJUST WATER VALVE AND METER BOXES TO FINISH GRADE PER MAG STD. DTL. 391-1, TYPE "A".
- 14 ADJUST SEWER MANHOLES AND CLEANOUTS TO FINISH GRADE PER MAG STD. DTL. 422-1.
- 15 INSTALL FIRE HYDRANT MARKER PER MAG STD. DTL. 122.
- 16 INSTALL SIDEWALK RAMP AND ADA TRUNCATED DOMES PER DETAIL 6 ON SHEET C6-01.
- 17 CHAIN LINK FENCE BY OTHERS.
- 18 CONSTRUCT TRASH ENCLOSURE PER DETAIL 1 ON SHEET C6-01.
- 19 INSTALL GROUTED RIPRAP SPILLWAY PER DETAIL 2 ON SHEET C6-01. LENGTH AND WIDTH PER PLAN.
- 20 INSTALL CURB TERMINATION PER MAG STD. DTL. 222.
- 21 CONSTRUCT 7" THICK (MAG AA, 4,000 PSI) CONCRETE PAVEMENT OVER COMPACTED SUBGRADE. MAXIMUM JOINT SPACING OF 12 FEET IN EITHER DIRECTION.

NOTES:

- 1. ALL CALLOUT NOTES MAY NOT BE REPRESENTED ON THIS SHEET.
- 2. ALL RAMP SLOPES ARE PER ADA REQUIREMENTS MAXIMUM SLOPE OF RAMP SHALL BE 1:12 WITH MAXIMUM RISE OF 30 INCHES. RAMP SHALL HAVE A MINIMUM 60 INCH X 60 INCH LANDING. HANDRAIL SHALL BE REQUIRED IF RAMP HAS RISE GREATER THAN 6 INCHES OR A HORIZONTAL PROJECTION GREATER THAN 72 INCHES.
- 3. EXISTING DRIVEWAY SHALL NOT BE BLOCKED DURING CONSTRUCTION.

SAGE TINY HOMES - 15 UNITS
Ganado, AZ
100% CONSTRUCTION DOCUMENTS

OWNER:
Sage Memorial Hospital



3707 E. Southern Ave.,
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Mesa, AZ 85206
Tel 480.454.4713



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TEMPE, AZ 85284
PH 602.635.4226



ENGINEER

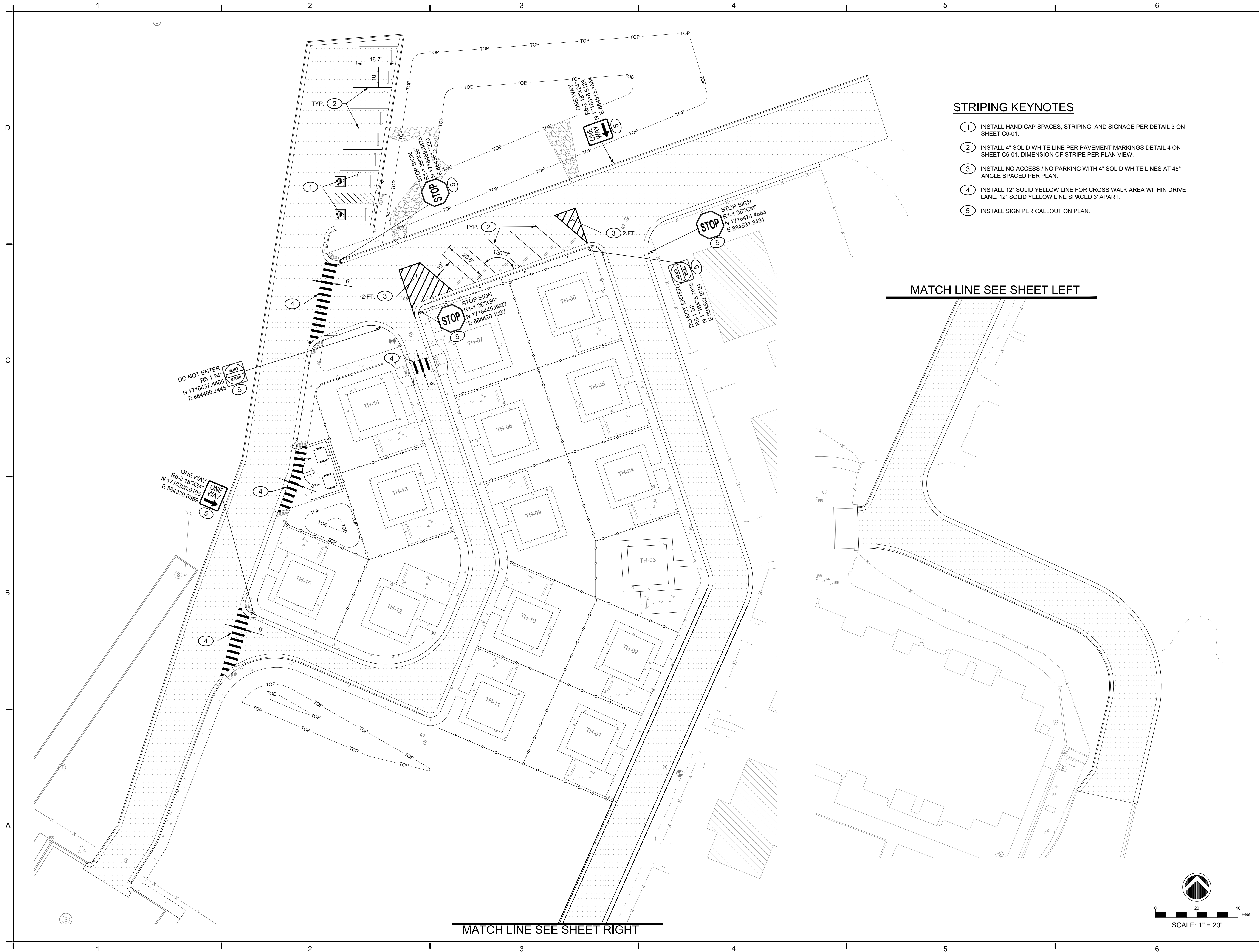
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SHEET TITLE
PAVING PLAN - DRIVEWAYS

SHEET NUMBER
C5-04
Sequence 18 of 23

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STRIPING KEYNOTES

1. INSTALL HANDICAP SPACES, STRIPING, AND SIGNAGE PER DETAIL 3 ON SHEET C6-01.
2. INSTALL 4" SOLID WHITE LINE PER PAVEMENT MARKINGS DETAIL 4 ON SHEET C6-01. DIMENSION OF STRIPE PER PLAN VIEW.
3. INSTALL NO ACCESS / NO PARKING WITH 4" SOLID WHITE LINES AT 45° ANGLE SPACED PER PLAN.
4. INSTALL 12" SOLID YELLOW LINE FOR CROSS WALK AREA WITHIN DRIVE LANE. 12" SOLID YELLOW LINE SPACED 3' APART.
5. INSTALL SIGN PER CALLOUT ON PLAN.

MATCH LINE SEE SHEET LEFT

MATCH LINE SEE SHEET RIGHT

SAGE TINY HOMES - 15 UNITS
Ganado, AZ
100% CONSTRUCTION DOCUMENTS

OWNER:
Sage Memorial Hospital



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960 W. ELLIOT ROAD
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	Date	

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SHEET TITLE

OVERALL
STRIPING PLAN

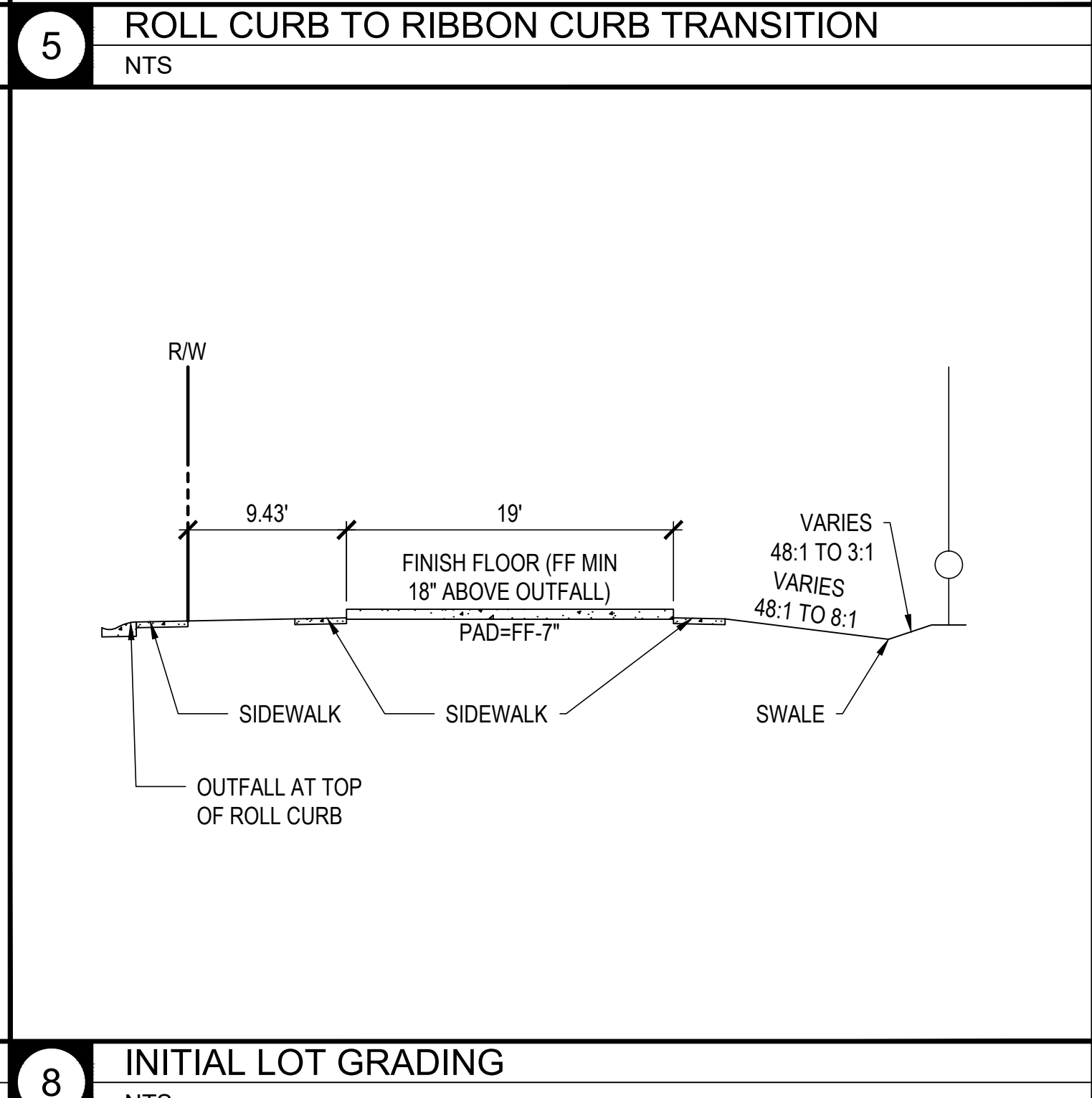
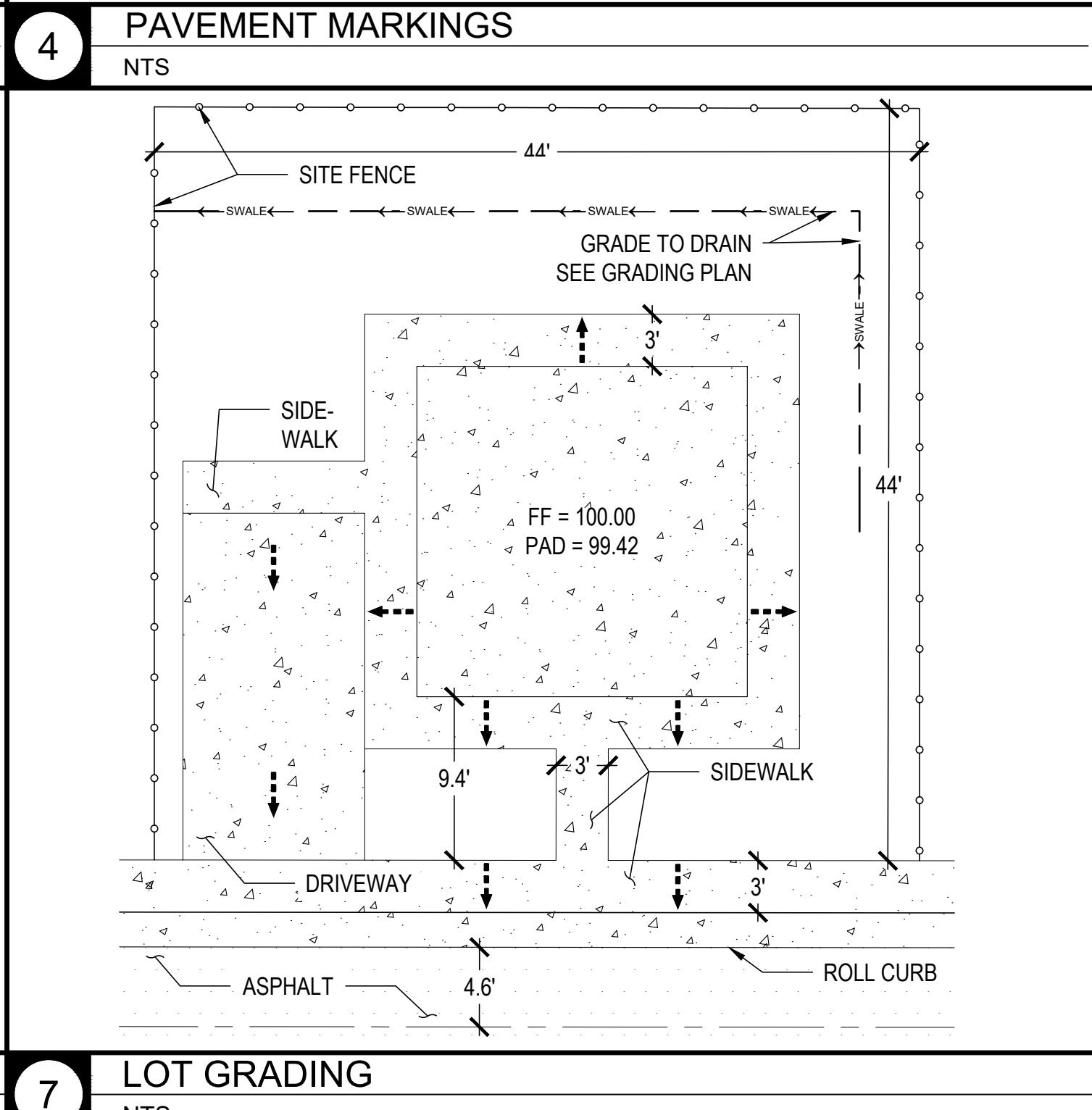
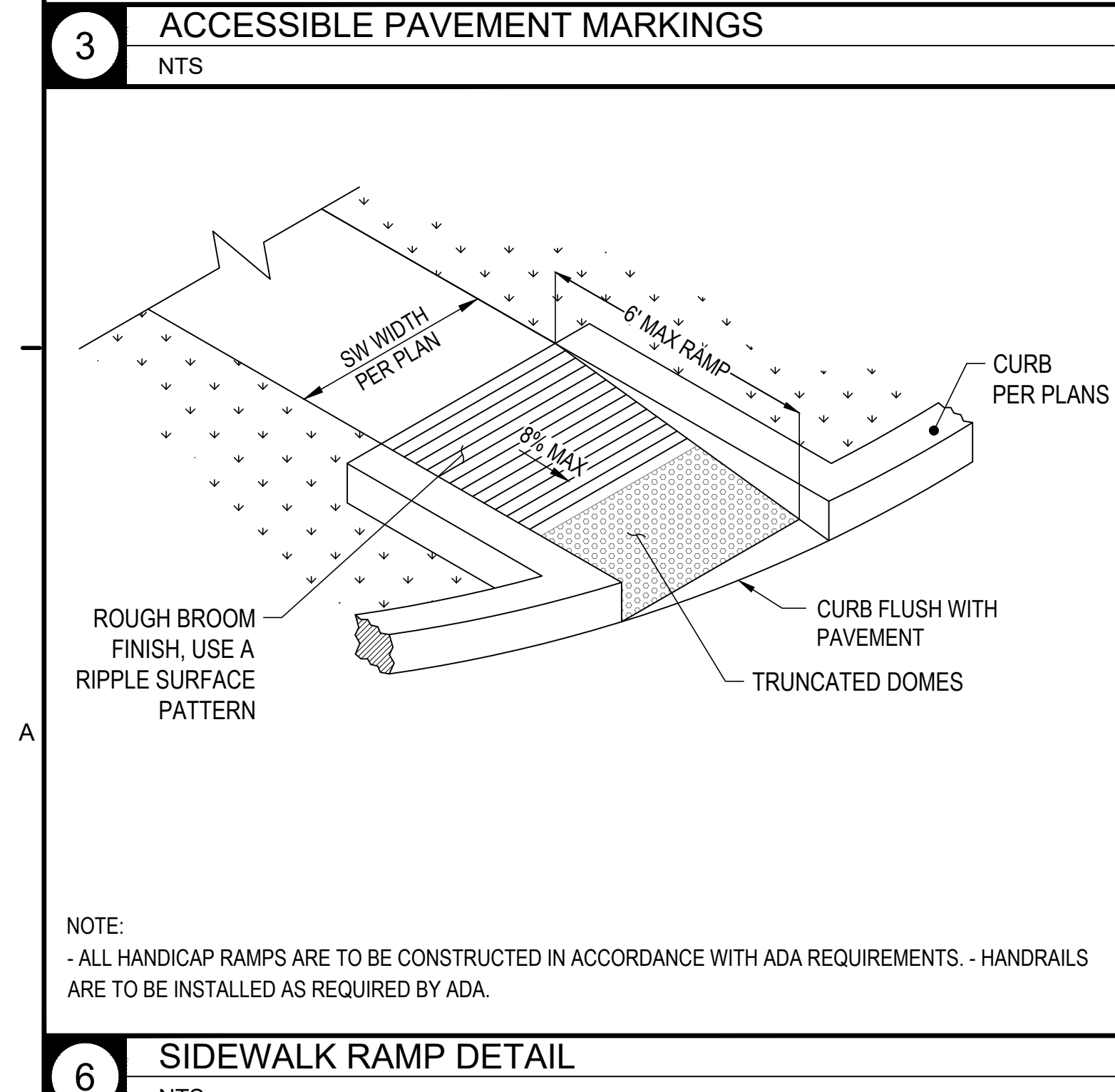
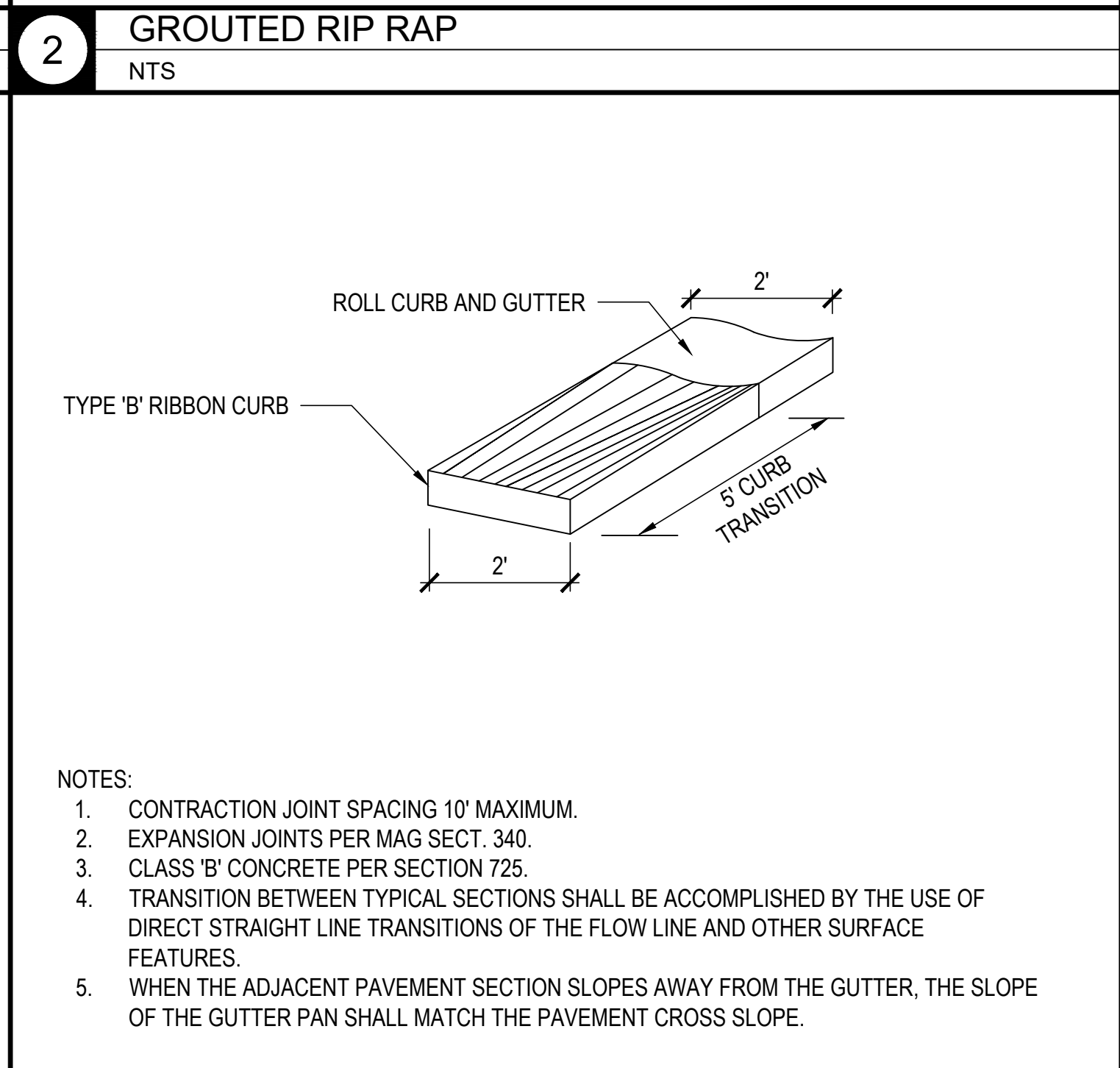
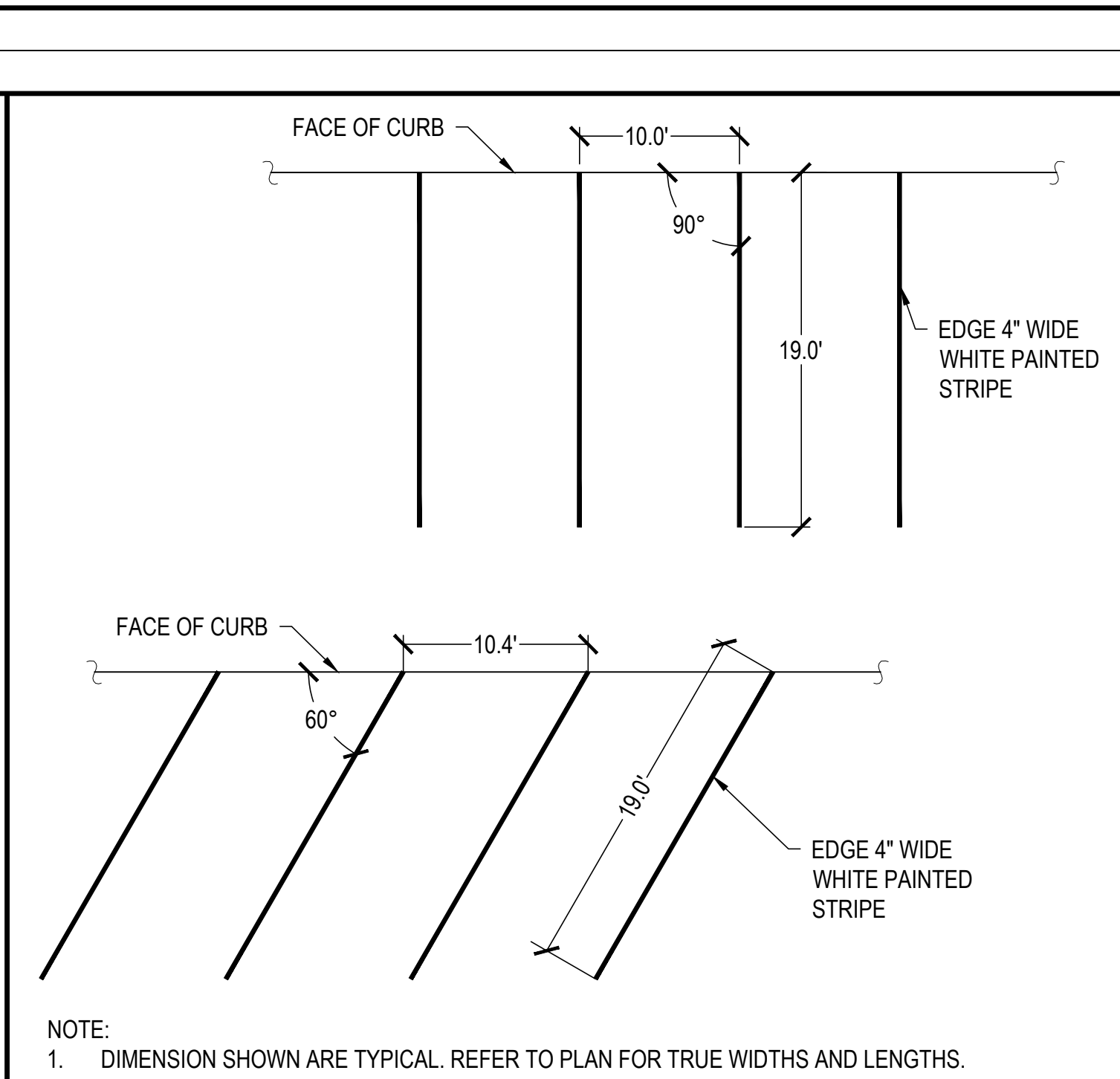
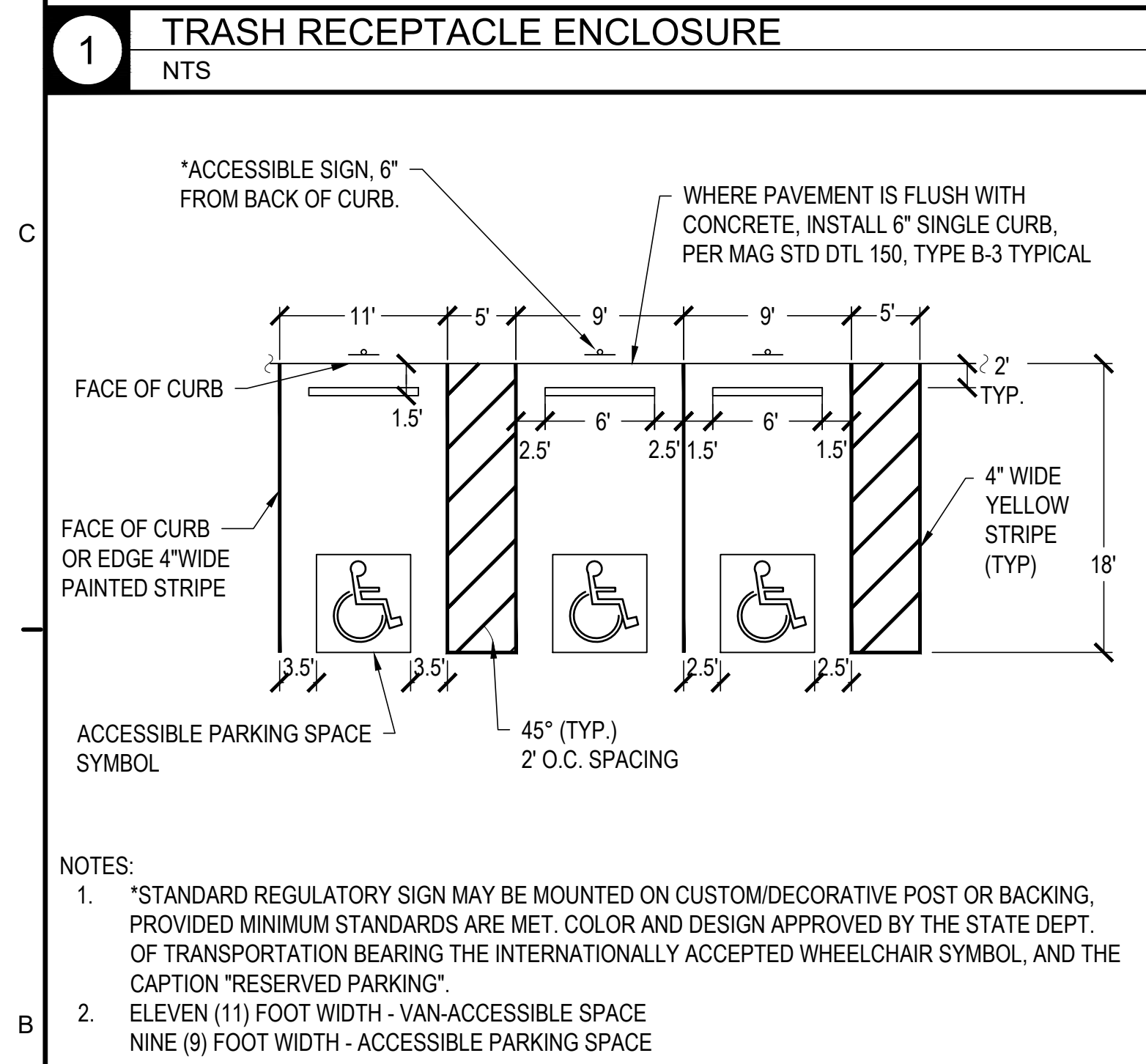
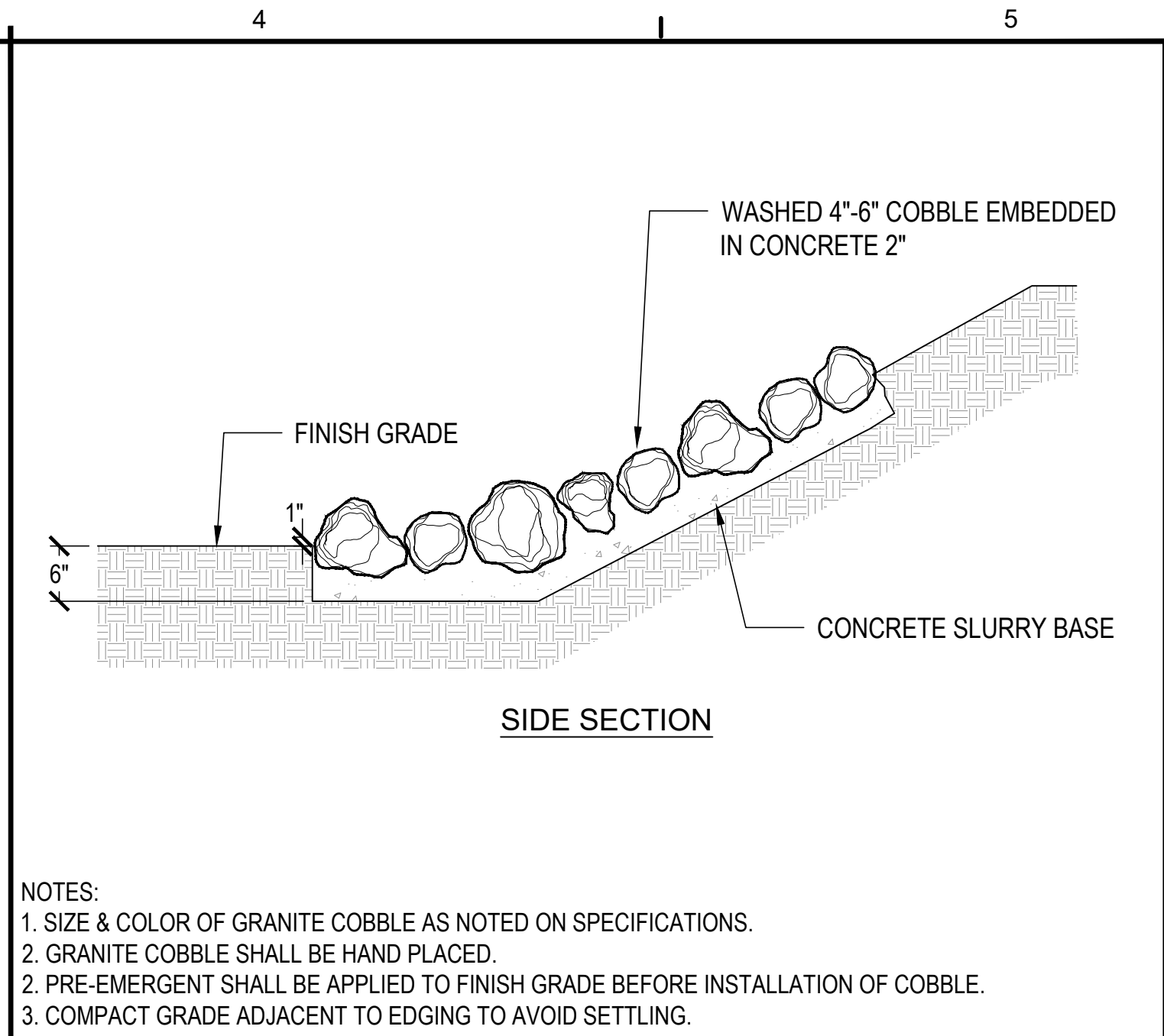
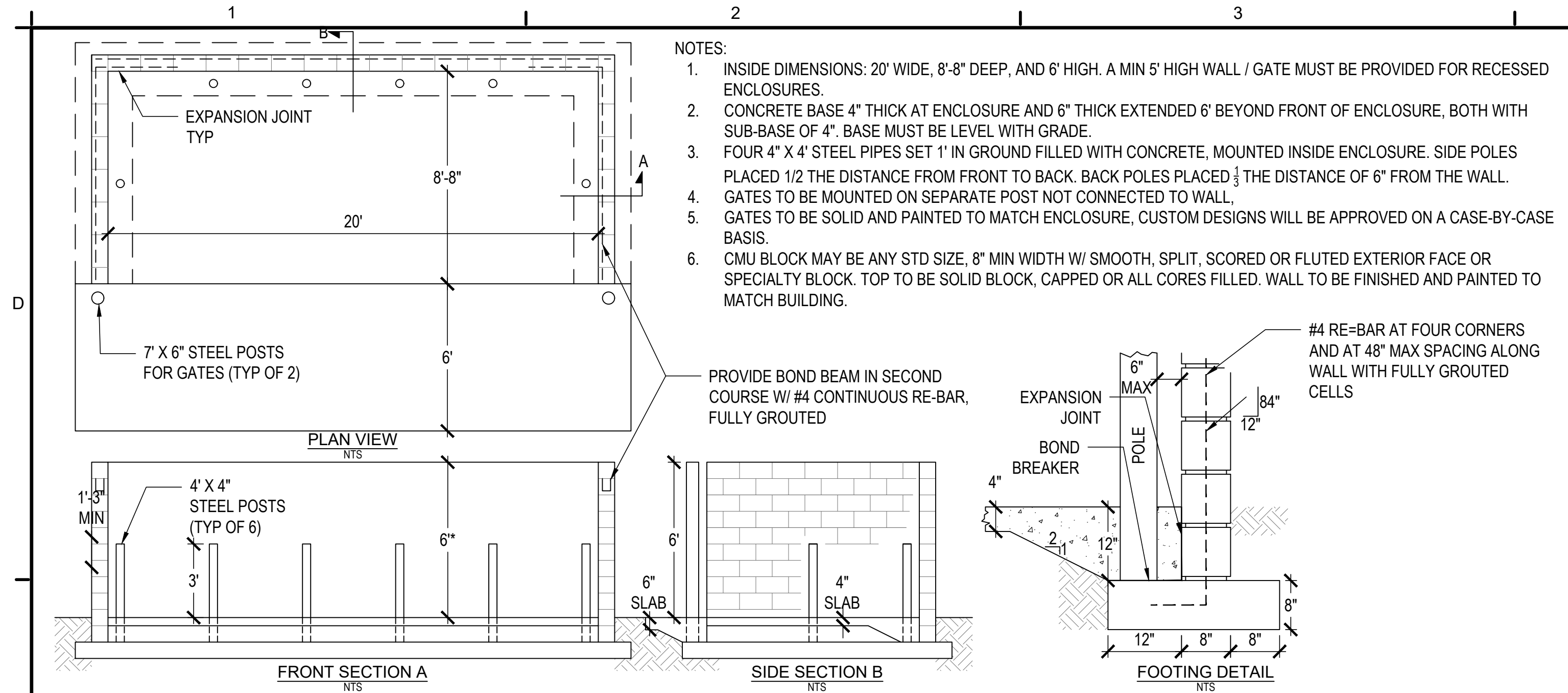
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C5-05

Sequence 19 of 23

June 22, 2026 11:37 AM

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SAGE TINY HOMES - 15 UNITS
Ganado, AZ
100% CONSTRUCTION DOCUMENTS

OWNER:
Sage Memorial Hospital



3707 E. Southern Ave.,
Suite 1047,
Mesa, AZ 85206
Tel 480.454.4713



960 W. ELLIOT ROAD
SUITE 213
TEMPE, AZ 85284
PH 602.635.4226



ENGINEER

MARK	DATE	DESCRIPTION
	Date	

PROJECT NUMBER: 2024.013
DRAWING FILE:
DRAWN BY: GB
CHECKED BY: JP
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SHEET TITLE

DETAILS

SHEET NUMBER

C6-01

Sequence 20 of 23

June 22, 2026 11:37 AM

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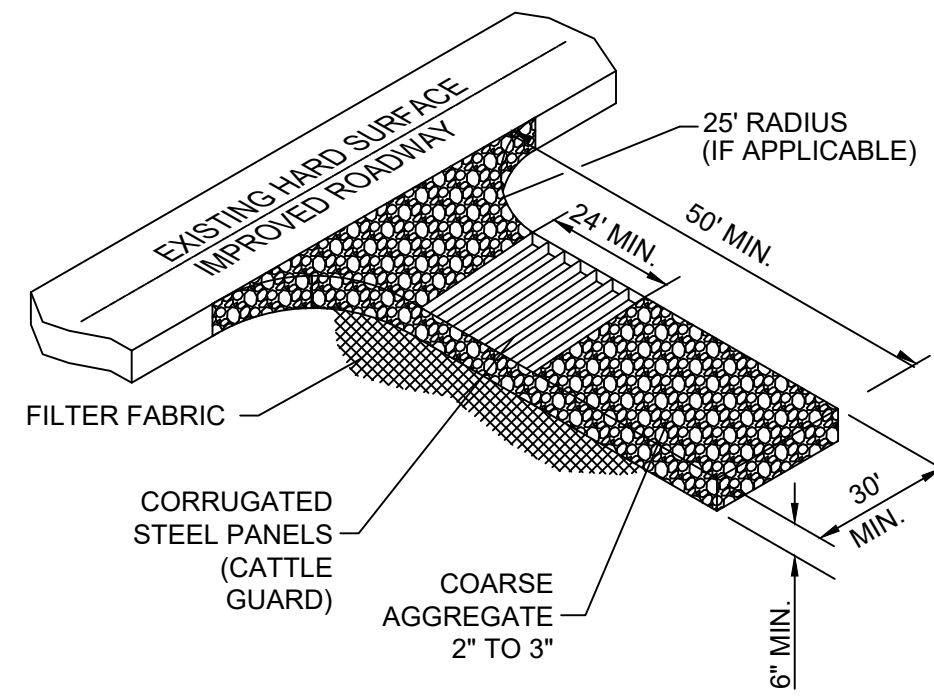


SWPPP NOTES:

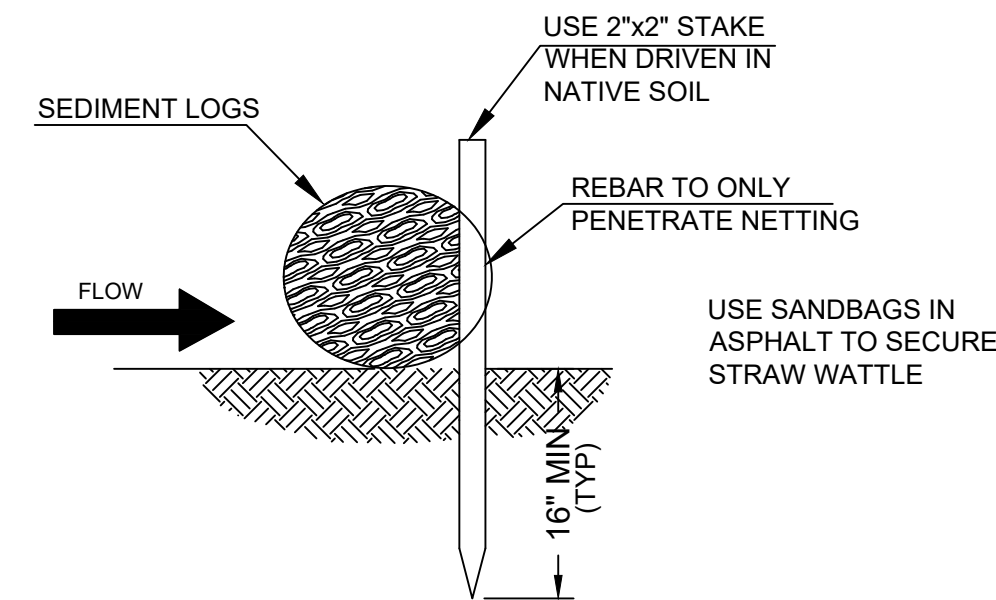
- 1 CONSTRUCT AND MAINTAIN STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF A MINIMUM OF SIX (6) INCHES OF TWO (2) INCH TO THREE (3) INCH DIAMETER CRUSHED ROCK WITH CATTLE GUARD PER DETAIL E1 ON THIS SHEET.
- 2 APPLY DUST CONTROL MEASURES WITHIN LIMITS OF DISTURBANCE PRIMARILY BY THE USE OF WATER.
- 3 PLACE STRAW WATTLE PER DETAIL E2. USE SANDBAGS TO SECURE STRAW WATTLE WHEN PLACED ON ASPHALT.
- 4 APPLY INLET PROTECTION PER DETAIL E3 AND E4.

SWPPP LEGEND:

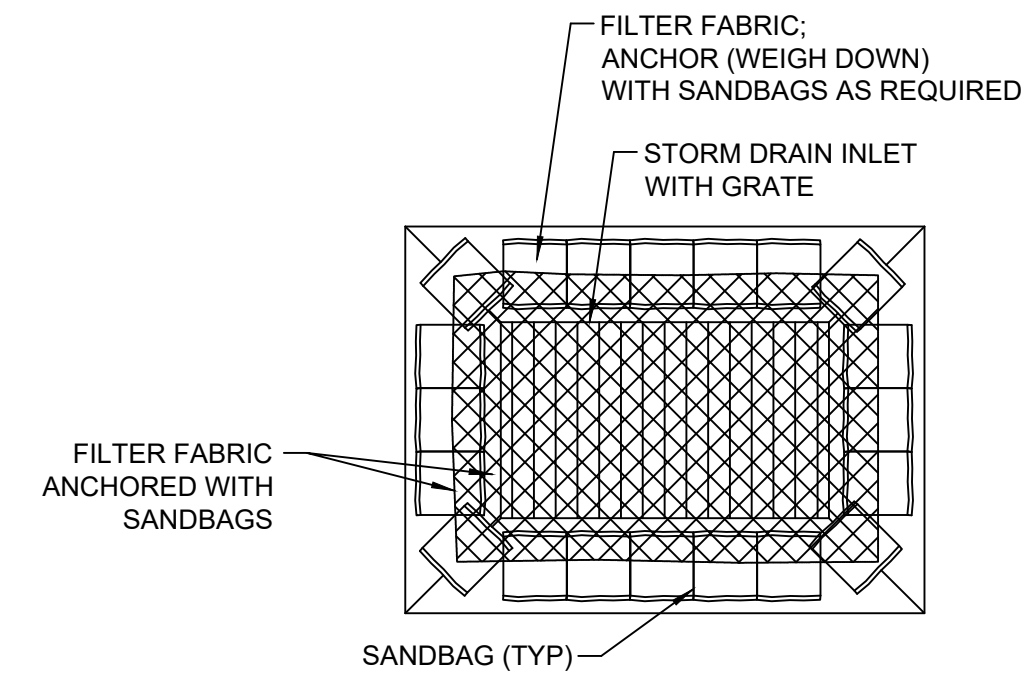
- DRAINAGE FLOW ARROW
- CONSTRUCTION ENTRANCE
- LAYDOWN/STOCKPILE AREAS
- STRAW WATTLE
- INLET/OUTLET PROTECTION
- CONCRETE WASHOUT AREA



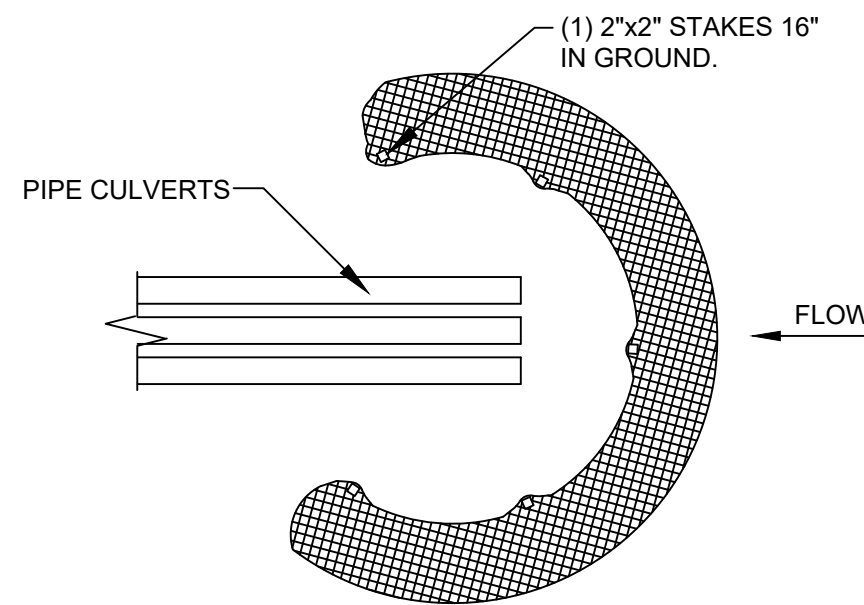
E1 CONSTRUCTION ENTRANCE DETAIL
N.T.S.



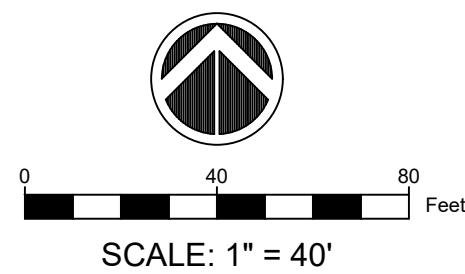
E2 STRAW WATTLE DETAIL
N.T.S.



E3 STORM DRAIN INLET PROTECTION
N.T.S.



E4 STRAW WATTLE DETAIL
N.T.S.



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ENGINEER

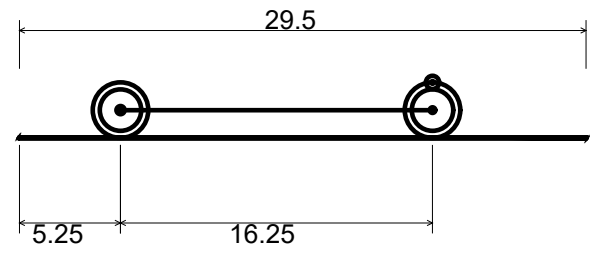
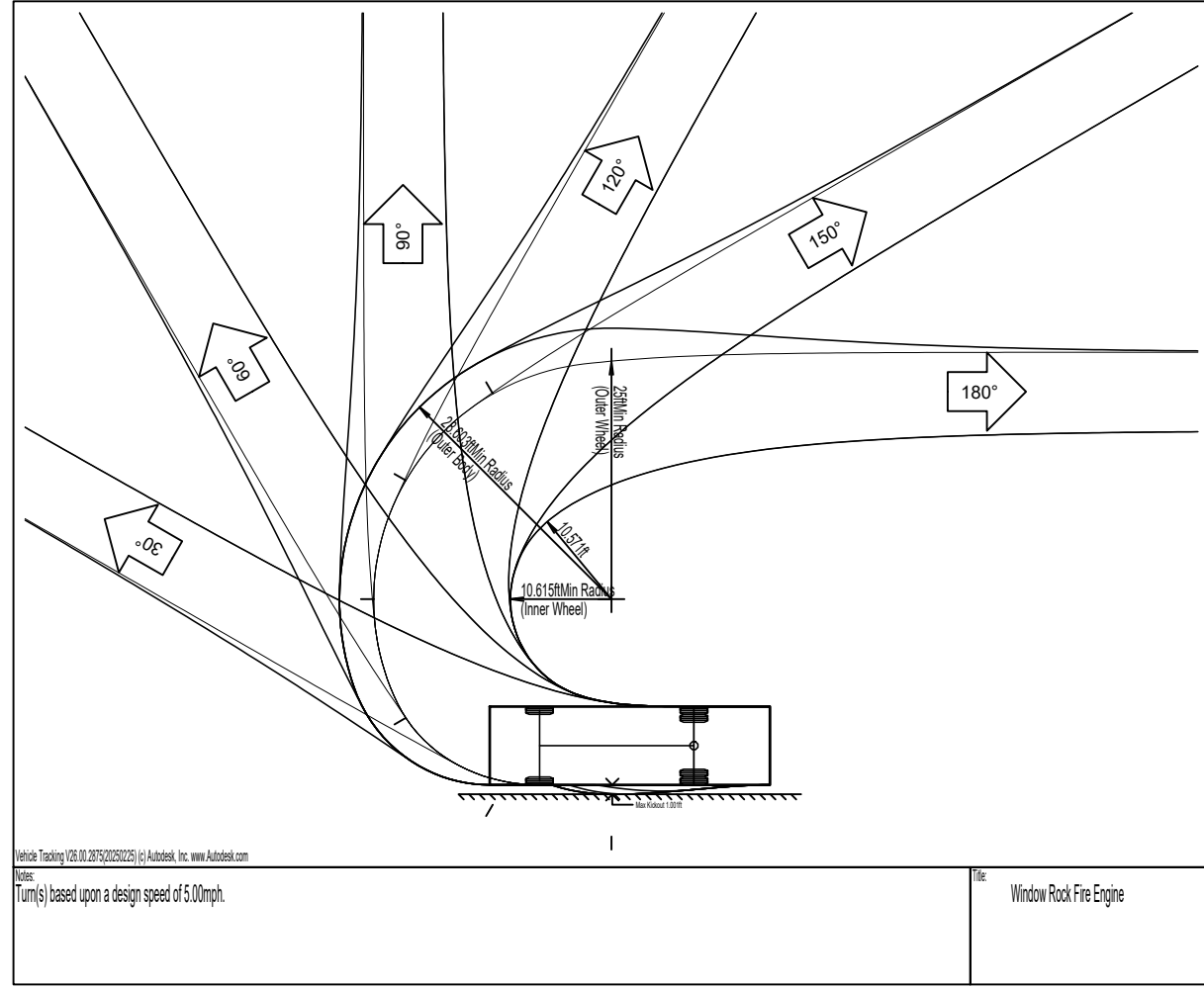
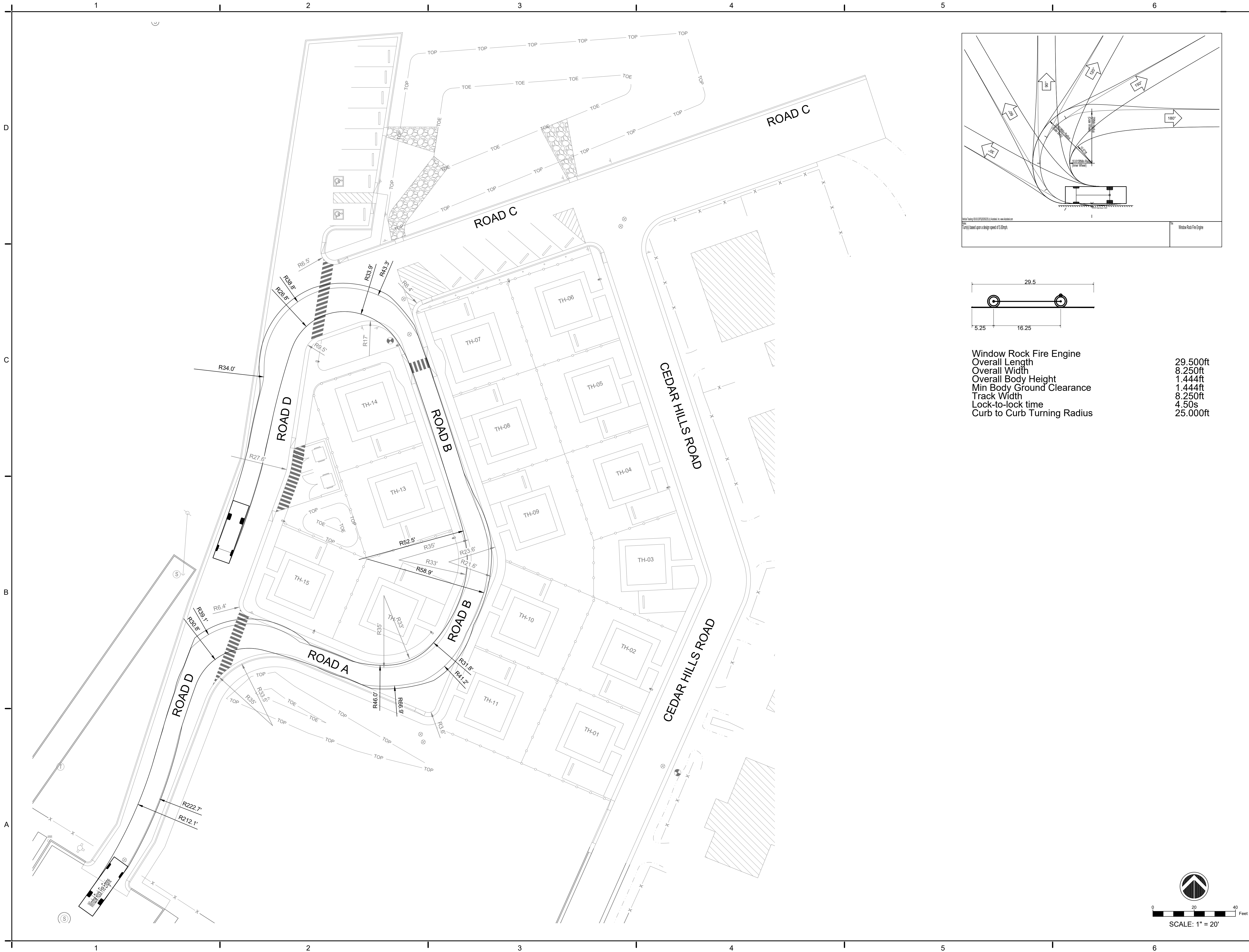
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PROJECT NUMBER: 2024.013
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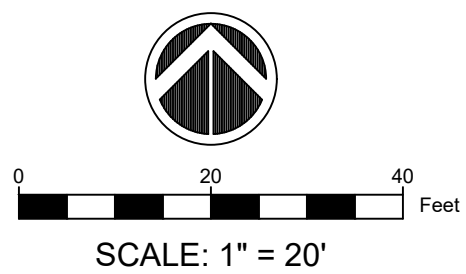
SHEET TITLE
SWPPP PLAN

SHEET NUMBER
C7-01
Sequence 22 of 23

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Window Rock Fire Engine	29.500ft
Overall Length	8.250ft
Overall Width	1.444ft
Overall Body Height	1.444ft
Min Body Ground Clearance	8.250ft
Track Width	4.50s
Lock-to-lock time	25.000ft
Curb to Curb Turning Radius	



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SHEET TITLE
FIRE ACCESS PLAN

SHEET NUMBER
C8-01
Sequence 23 of 23